



Meeting Date: April 18, 2011
Agenda Item: # 13

Mission Statement

Provide quality services in a modern, courteous and cost-efficient manner.

VILLAGE PLAN COMMISSION STAFF REPORT

REPORT TO: President Burt McIntyre & Village Plan Commission

REPORT FROM: Dave Wiese, Executive Director of Community Development

AGENDA ITEM: Review and take action on the site plan for Community First Credit Union for construction of a branch office with drive-up windows at 2949 Riverview Drive, VH-485-1.

ACTION REQUESTED: Approval of the Site Plan

POLICY ISSUE

Is the design and site layout of the proposed building consistent with the trend of development in the neighborhood and with the desires of the Village for development along the Riverview Drive corridor?

RECOMMENDED ACTION BY PLAN COMMISSION

The Plan Commission should review the applicant's submittal and approve the site plan if it is acceptable.

POLICY ALTERNATIVE(S)

The Plan Commission could take the following action:

- Approve the request.
- Approve the request with additional conditions.
- Deny the request.
- Table the request until a later meeting date.

BASIC INFORMATION

Project Name	Community First Credit
Applicant	Chris Linskens
Phone	920-434-9670
Consultant/ Engineer	Mau & Associates
Parcel Size	2.93 Acrs
Existing Zoning	B-1 Business
Proposed Zoning	B-1 Business

ADJACENT LAND/ZONING MATRIX

	LAND USE	ZONING
North	Residential, vacant	B-1
South	Legends	B-1
East	Residential	R-2
West	Professional Office	I-6 Ind. Park Corp Headquarters

Land Map Designation: Village Center

BACKGROUND

The subject property is located on Riverview Drive north of Legends restaurant. The property is currently vacant. The applicant is requesting site plan approval in order to construct a 5,600 square foot office building (with drive up canopy.) The property is currently zoned B-1 Business. The new building will be located just north of Legends restaurant and be positioned on the lot at a 45-degree angle. The building will be constructed of an all-brick building with an asphalt shingle roof. The majority of parking will be located in the front of the building as it faces Riverview Drive. There will be two entrances – one onto Riverview Drive and the other on Riverdale Avenue. The property will be landscaped with a mixture of trees and shrubs. The bio-filter will be planted with additional plants according to stormwater plan specifications. The overall site will have approximately 49.14% of greens pace.

Plan Commission review is required per the Zoning Ordinance which requires the following:

“ No building or any improvement shall be erected, placed, or altered on any building site in the B-1 Business zoning district until the plans for such building or improvement, including the site plan, landscape plan, building plan and specifications, have been submitted for review to the village plan commission. The village plan commission shall approve, conditionally approve or disapprove such plans with respect to conformity with this section and other applicable codes and ordinances of the village and with respect to harmony of external design and land use as it affects property within and adjacent to the B-1 Business zoning district. Failure on the part of the village plan commission to act within 60 days of submission shall constitute approval of such plans.”

EXECUTIVE ANALYSIS

1. **Zoning** The property is zoned B-1 business. The proposed use would be permitted in the B-1 zoning district.
2. **Setbacks** The minimum setbacks are: 35 foot front, 10 foot side and 15 foot rear. The proposed site plan is in compliance.
3. **Parking** Required parking has been met. The zoning ordinance requires 21 stalls. They have provided 31 parking stalls.
4. **Floodplain, Shoreland Zoning & Stormwater Management** Stormwater management will need to be provided on site and approved by the Village of Howard Engineering Department.
5. **Land Division** N/A
6. **Lighting** A detailed lighting plan has been submitted. Photometrics indicate approximately 0 at the lot lines. The light fixtures are proposed as 90 degree cutoff fixtures.
7. **Fire Protection** This property is currently served by the municipal water system and is located approximately 2.5 from the nearest fire station.
8. **Signage** The applicant will need to have all future signs reviewed by the Plan Commission.
9. **Garbage/Recycling** The proposed garbage/recycling area is to be located at the end of the northeast parking lot. It will be need to be screened with materials that match the principal structure (brick.)

CODE REQUIRED CONDITIONS

1. Section 42-56 of the Howard Municipal Code requires that a storm water management plan be completed and approved by the Village Engineer before a building permit can be issued.
2. Section 50-1194 of the Zoning Ordinance requires that *“Whenever any private property in the Village is developed, as defined in Article 1, Sec. 50-6 of this chapter, all new and existing electrical power and communication lines, including but not limited to electric lines, telephone lines, cable television lines, etc., servicing such property, shall be buried underground in accordance with local and State regulations for such utility services.”* New and existing utility lines on the property shall be buried as part of the construction project.
3. Exterior building colors shall be earth tones. Color samples of the asphalt shingles and brick should be approved.

4. Trash dumpsters, recycling containers and other exterior refuse storage shall be effectively screened from public view by opaque fences, walls or enclosures constructed of materials matching that of the principal structure on the property.
5. Doors or gates constructed of decorative metal or vinyl shall be provided at the entrances to enclosures required in subsection (6)a.1. of this section and such doors or gates shall be kept in a fully closed position when the enclosure is not in use.
6. A minimum of one shrub shall be required for every 3,000 square feet of lot area.
7. A minimum of one tree shall be required for every 5,000 square feet of lot area. All proposed deciduous trees shall be a minimum of 1¾ inches in diameter and all evergreen trees shall be a minimum of four feet in height at the time of planting. Large maturing shade trees shall account for at least 50 percent of the total trees required.
8. Landscape buffers (trees, hedges, plantings, berms or a combination thereof) shall be installed adjacent to and across from all residential areas.
9. Except as specifically allowed in division 4 of article VI of this chapter, exempt signs, and except as specifically allowed in subsection (2) of this section, only monument signs and signs mounted on a building or building appurtenance are permitted in the business (B-1) zoning district.
10. The total area of all signs on a lot shall not exceed 300 square feet.
11. No more than one monument sign shall be permitted on a lot.
12. Curb and gutter shall be installed around the perimeter or boundary of all parking, drive and loading areas.
13. A minimum of ten percent of the surface area of all parking lots shall be landscaped with trees and shrubs.
14. The overall height of light fixtures installed to illuminate parking lots and exterior grounds shall not exceed 30 feet or the height of the principal structure, whichever is lesser.
15. Projected surface stormwater runoff rates upon project completion shall not exceed Predevelopment rates.
16. Sidewalks and pedestrian walkways shall be provided in all developments as an integral part of an overall circulation and transportation network. Public sidewalk needs to be installed on Riverdale Drive and Riverview Drive with a designated link to the front entrance at the developer's expense.
17. The driveway on Riverview Drive has to be a minimum of 5 feet off the lot line.

STAFF RECOMMENDED CONDITIONS

- (1) In addition to the code related items above, staff recommends a driveway permit be obtained from the Brown County Highway Department.

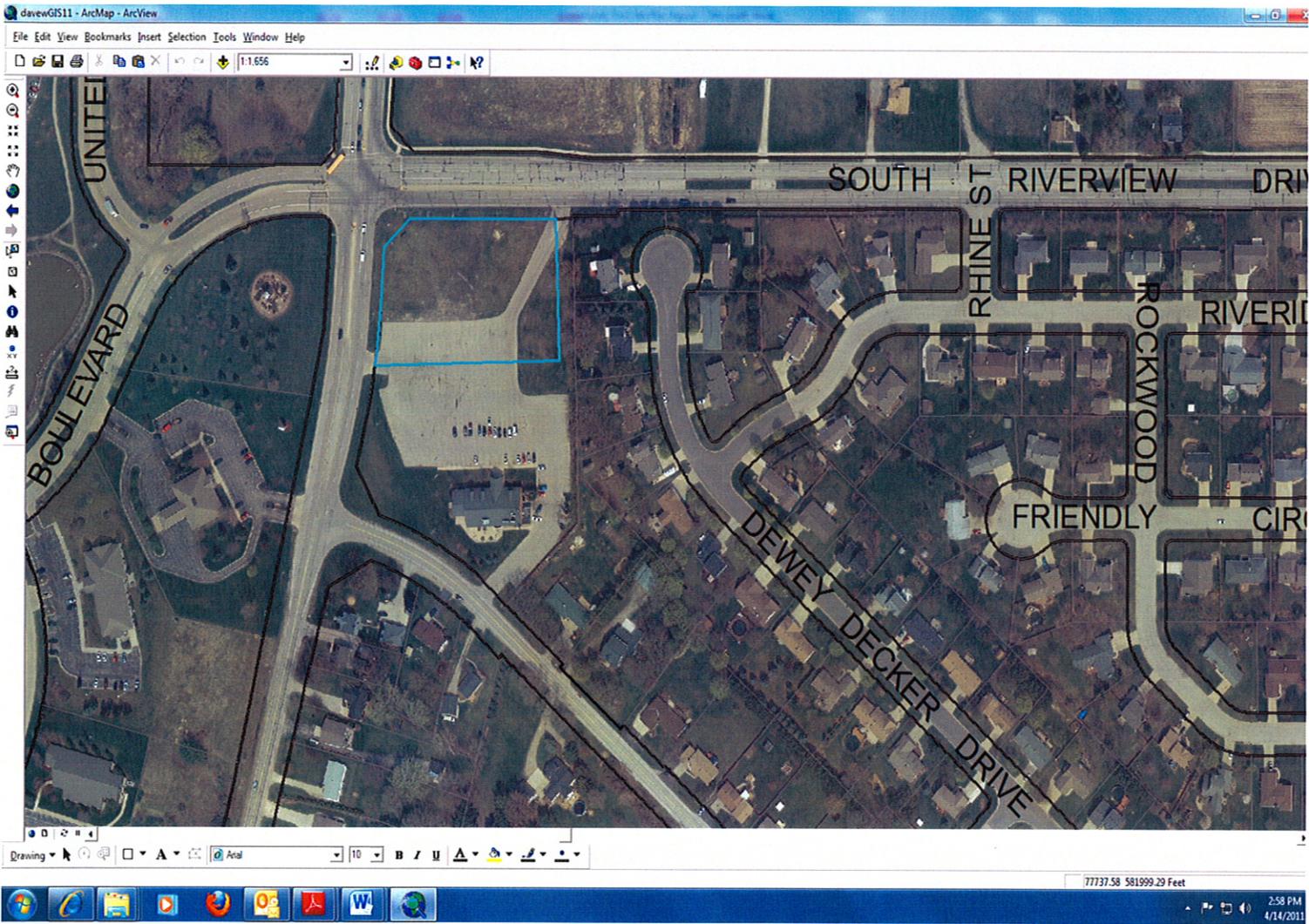
ATTACHMENTS

- I Plat map of property
- II Site plan Review Application, Site Plan, Landscape Plan, Lighting Plan

COPIES EMAILED TO

Chris Linskens-Mau & Associates

ATTACHMENT I



DEPARTMENT OF CODE ADMINISTRATION
 2456 Glendale Avenue, Green Bay, WI 54313
 (Office) 920-434-4640 (FAX) 920-434-4643
<mailto:jkorotev@villageofhoward.com>



**APPLICATION FOR
 PG PLAN APPROVAL**

IMPORTANT INFORMATION FOR APPLICANTS

- (1) INCOMPLETE APPLICATIONS CANNOT BE ACCEPTED OR PROCESSED
- (2) YOU MAY USE YOUR COMPUTER KEYBOARD TO FILL OUT THIS APPLICATION FORM
- (3) PLEASE SUBMIT COMPLETED APPLICATIONS TO THE DEPARTMENT OF CODE ADMINISTRATION AT THE ABOVE ADDRESS

LOCATION	ADDRESS OF SUBJECT PROPERTY (Street Number and Name) 2949 Riverview Dr.	LOT #	SUBDIVISION	TAX PARCEL # VH-485-1
PROPERTY OWNER	PROPERTY OWNER'S FULL NAME Community First Credit Union	DAYTIME PHONE # 920-830-7200		ALTERNATE PHONE #
	PROPERTY OWNER'S MAILING ADDRESS (Include Zip Code) 2626 S. Oneida St., Appleton, WI 54915-2101	PROPERTY OWNER'S E-MAIL ADDRESS		
APPLICANT/ AGENT	APPLICANT/AGENT FULL NAME AND BUSINESS NAME Chris Linskens, PE - Mau & Associates, LLP	APPLICANT/AGENT PHONE # 920-434-9670		ALTERNATE PHONE # 920-639-1980
	APPLICANT/AGENT MAILING ADDRESS (Include Zip Code) 400 Security Blvd., Green Bay, WI 54313	APPLICANT/AGENT E-MAIL ADDRESS CLinskens@mau-associates.com		
USE	BRIEFLY DESCRIBE THE EXISTING AND PROPOSED USE OF THE PROPERTY Currently overflow parking area for Legends, will be a Community First Credit Union branch w/ drive-up windows			
SUBMITTALS	WHERE APPLICABLE, THE FOLLOWING SUBMITTALS ARE REQUIRED TO ACCOMPANY THIS APPLICATION FOR THE APPLICATION TO BE ACCEPTED AND REVIEWED BY THE PLAN COMMISSION. REQUIRED SUBMITTALS MAY CONSIST OF PLANS, DRAWINGS, ANNOTATED PHOTOGRAPHS, OR OTHER DOCUMENTATION THAT SUFFICIENTLY PROVIDES ALL REQUIRED INFORMATION.			

Exterior Building Design (required for all new buildings, additions and exterior alterations to existing buildings)

- Exterior elevations of all proposed new and existing buildings showing wall materials and exterior construction details (including colors)
- Height of all proposed new buildings and structures and all existing buildings and structures
- Specific roof types (gable, hip, flat, etc.) and roof pitches of all proposed new and existing buildings
- Roofing materials to be used on proposed new buildings and existing roofing materials on existing buildings (including colors)

Site Features (required for all projects)

- Location of all proposed new and existing buildings & structures, including dimensions to property lines and to each other
- Locations of all streets, property lines, wells, septic systems, power lines, easements, etc.
- All proposed new and existing off-street parking drive and loading areas (location, number, size, access, etc.)
- The total accumulated horizontal impervious surface area after development (surfaces impervious to the penetration of storm water)
- The total accumulated greenspace on the property (non-impervious), including the percentage of lot area (post development)

Landscaping (required for all projects where landscaping will be installed or altered or where required by the Plan Commission)

- Number, size, species and location of all existing and proposed trees
- Number, size, species and location of all existing and proposed shrubs and ground plantings
- Description and location of any existing or proposed buffering (fences, berms, hedges, plantings, etc.)

Exterior Lighting Features (required where exterior lighting fixtures will be installed or altered)

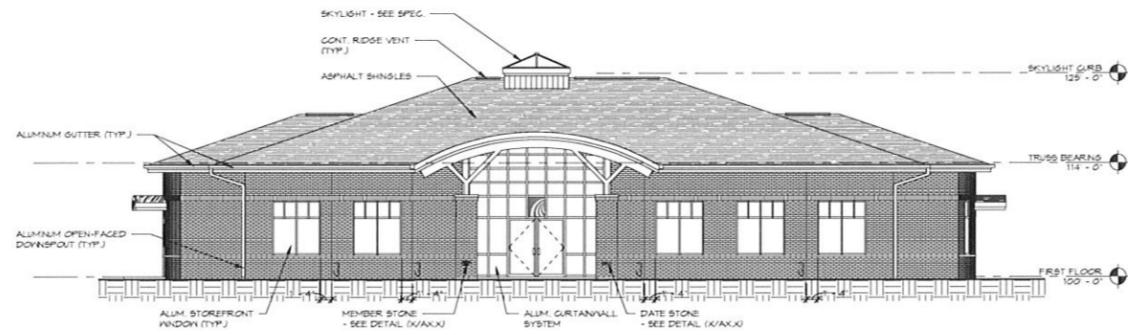
- Number, fixture type, location and wattage of all existing and proposed building lighting
- Number, fixture type, location, wattage and height of all existing and proposed parking lot and exterior grounds lighting
- Number, fixture type, location, wattage and height of all existing and proposed other exterior lighting
- Photometric plan prepared by a professional lighting designer (when required by the Plan Commission)

Signage Details (required for all projects where signage exists or where new signage will be installed)

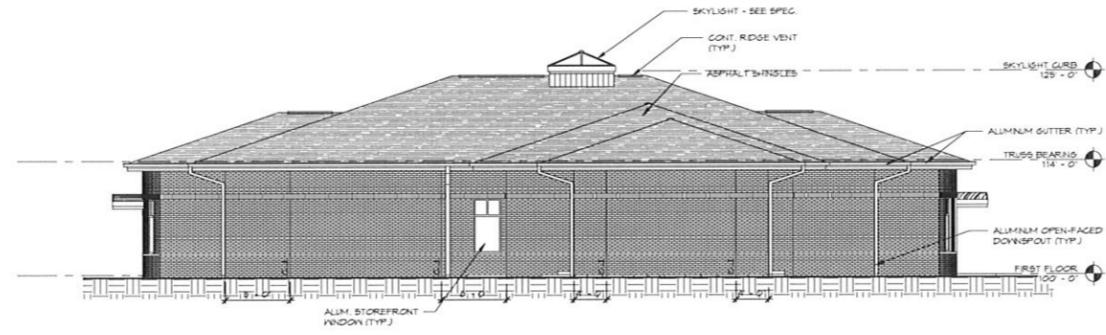
- Building elevations showing the location, number, size and message of all existing and proposed building signs and building lettering
- A site plan showing the location of all existing and proposed free-standing signs, including the distance of such signs to property lines
- Elevations of all existing and proposed free-standing signs showing the height, width, depth, material composition, colors, illumination, sign area and message of all such signs

SIGNATURE	CJL ENTER YOUR INITIALS IN THIS BOX TO VERIFY THAT YOU HAVE READ AND AGREE TO THE TERMS AND CONDITIONS DETAILED BELOW (REQUIRED FOR APPLICATION TO BE PROCESSED)	APPLICATION DATE 4/4/2011
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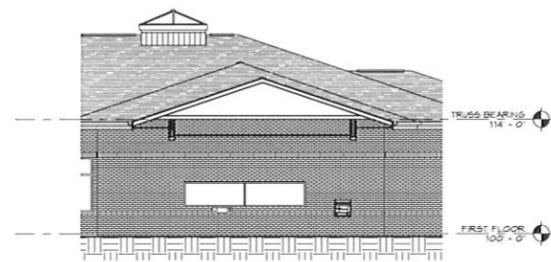
BY INITIALING THE BOX ABOVE, THE APPLICANT DOES HEREBY CERTIFY THAT: (1) ALL INFORMATION PROVIDED ON THIS APPLICATION IS TRUE AND CORRECT. (2) THE APPLICANT UNDERSTANDS THAT APPROVAL OF THIS REQUEST CREATES NO LEGAL LIABILITY, EXPRESSED OR IMPLIED, ON THE VILLAGE OF HOWARD OR ON ANY OF ITS EMPLOYEES. (3) THE APPLICANT WILL BE BOUNDED BY AND SUBMIT TO ALL STATUTES OF THE STATE OF WISCONSIN, CONFORM TO ALL APPLICABLE CODES AND ORDINANCES OF THE VILLAGE OF HOWARD, AND ABIDE BY ALL RULES AND REGULATIONS PRESCRIBED BY THE DEPARTMENT OF CODE ADMINISTRATION.



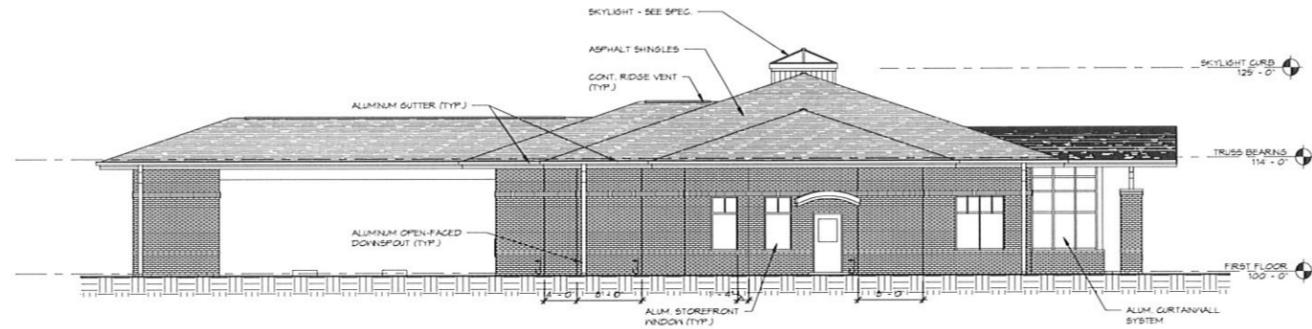
WEST ELEVATION
SCALE: 1/8" = 1'-0"



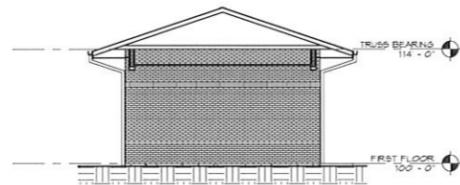
EAST ELEVATION
SCALE: 1/8" = 1'-0"



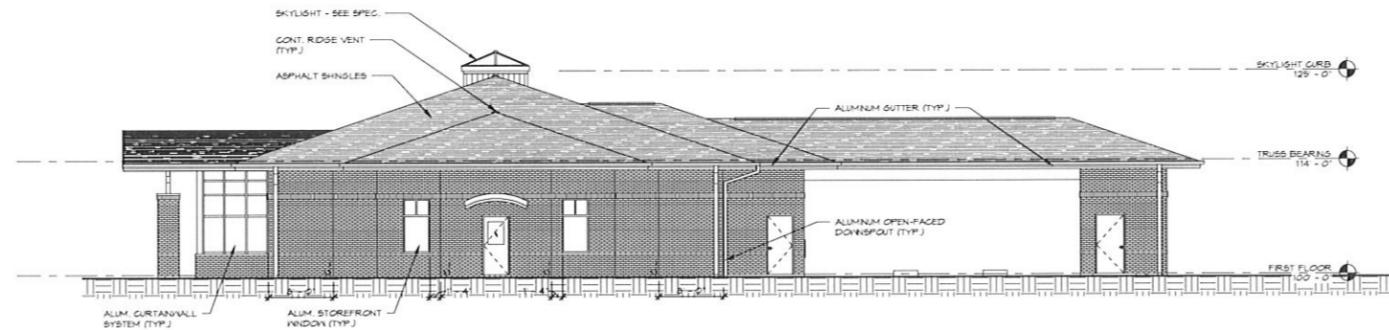
PARTIAL EAST ELEVATION
SCALE: 1/8" = 1'-0"



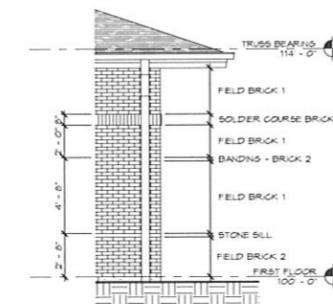
NORTH ELEVATION
SCALE: 1/8" = 1'-0"



PARTIAL WEST ELEVATION
SCALE: 1/8" = 1'-0"



SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



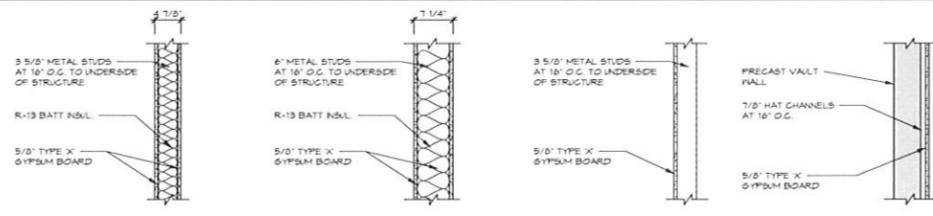
ENLARGED ELEVATION
SCALE: 1/4" = 1'-0"

NEW HOWARD BRANCH
 COMMUNITY FIRST CREDIT UNION
 2944 RIVERVIEW DRIVE GREEN BAY, WI 54313

Performa
 ARCHITECTURE & INTERIORS
 1200 W. WASHINGTON ST. SUITE 200
 GREEN BAY, WI 54303
 TEL: 920.833.8888 WWW.PERFORMA-WI.COM

EXTERIOR ELEVATIONS

DATE	BY	CHKD
11/07/24	FSH	BJN
DATE	MM/DD/YYYY	
SCALE	As Indicated	
PROJECT NO.	A3.1	
11007		

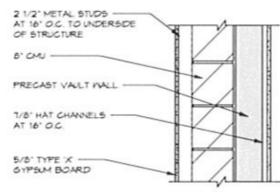


WALL TYPE 1
METAL STUD PARTITION

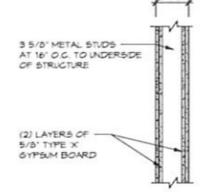
WALL TYPE 2
METAL STUD PARTITION

WALL TYPE 3
METAL STUD PARTITION

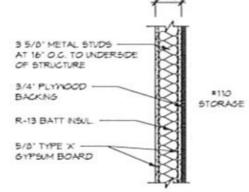
WALL TYPE 4
PRECAST VAULT PARTITION WITH FURRINS



WALL TYPE 5
FRONT WALL OF VAULT GYM WALL PARTITION WITH METAL STUD FURRINS



WALL TYPE 6
METAL STUD PARTITION



WALL TYPE 7
METAL STUD PARTITION

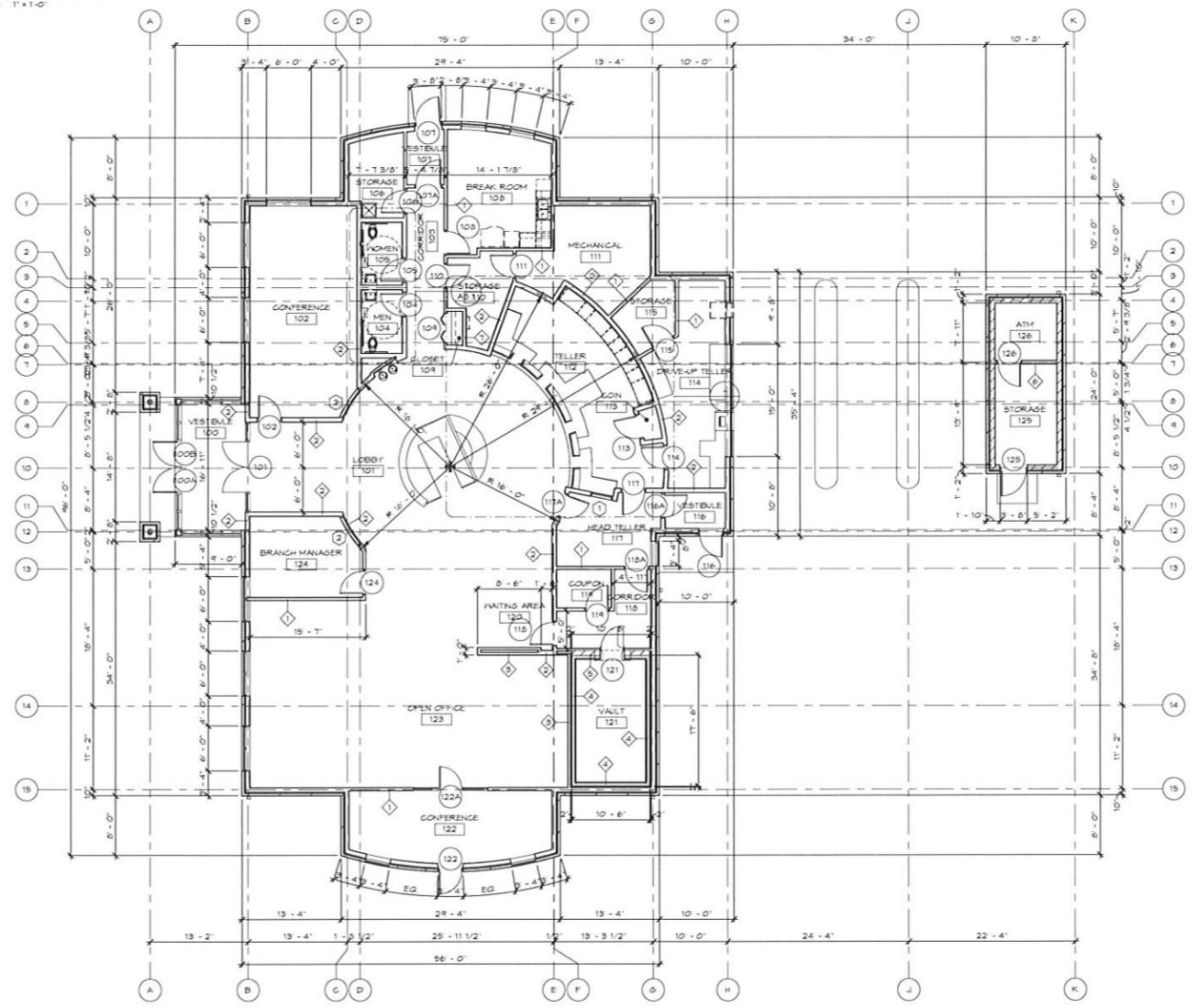
FLOOR PLAN SYMBOLS:

- 101 : DOOR I.D. SYMBOL - SEE SHEET A2.2
- 1 : WINDOW I.D. SYMBOL - SEE SHEET A6.1

FLOOR PLAN NOTES:

1. ALL GYM WALL WIDTHS ARE TO BE 8\"/>

WALL TYPES
SCALE: 1\"/>



TRUE NORTH
PLAN NORTH
FIRST FLOOR PLAN
SCALE: 1/8\"/>

NEW HOWARD BRANCH
COMMUNITY FIRST CREDIT UNION
 2044 RIVERVIEW DRIVE GREEN BAY, WI 54313

Performa
 ARCHITECTURE & INTERIORS
1000 WASHINGTON AVENUE, SUITE 200, GREEN BAY, WI 54303

FIRST FLOOR PLAN

DATE	11/07
SCALE	As Indicated
PROJECT NO.	11007
DATE	MM/DD/YYYY
SCALE	As Indicated
PROJECT NO.	A1.1
DATE	11/07

COMMUNITY FIRST CREDIT UNION ~ HOWARD

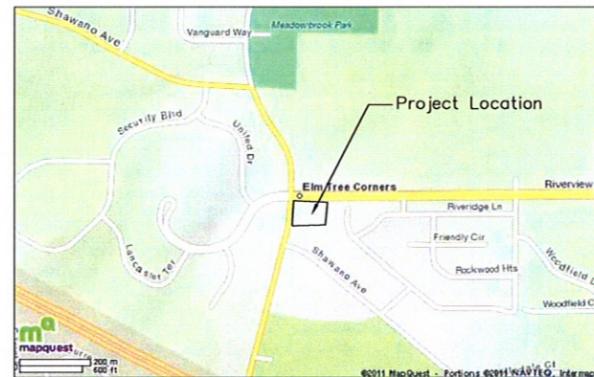
Tax Parcel #: VH-485-1

Zoning: B-1

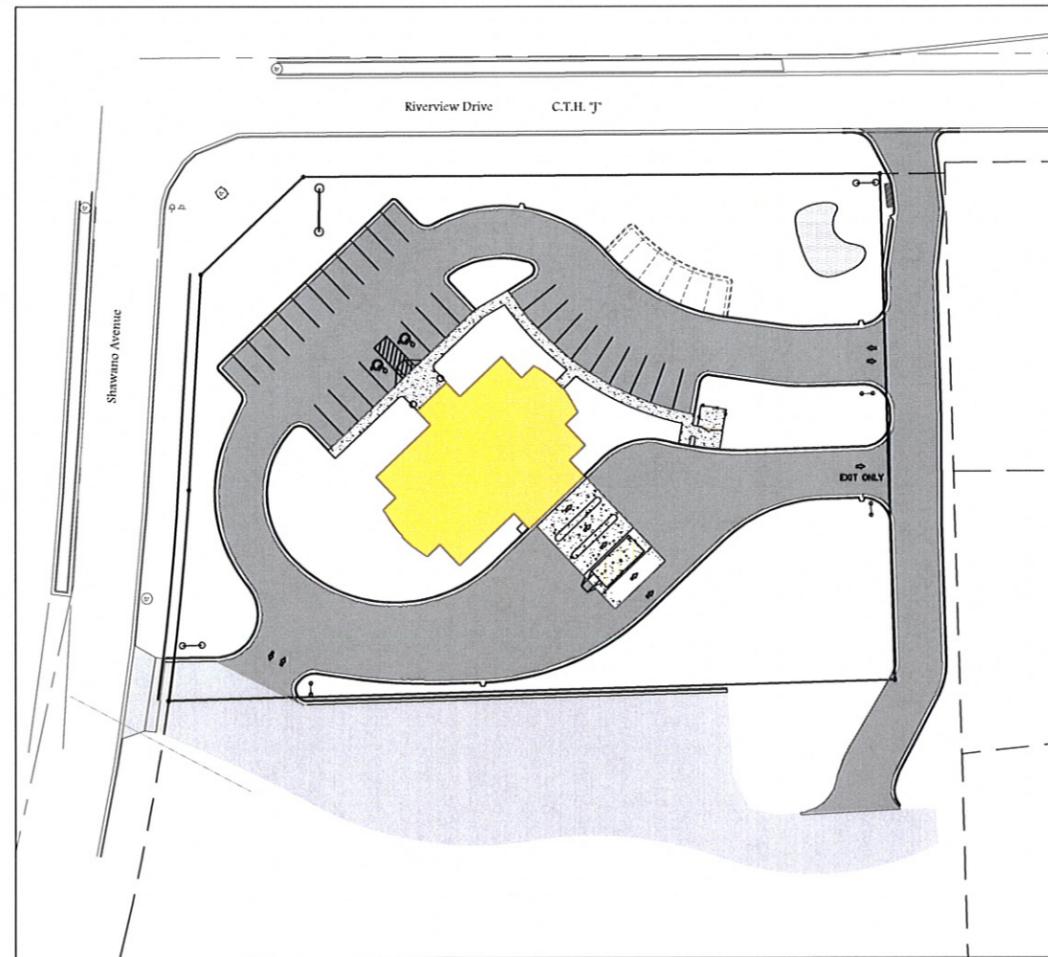
Village of Howard
Brown County, Wisconsin
Prepared for: Community First Credit Union



Lot 1, Volume 42, Certified Survey Maps, page 75, Map Number 6321, Document Number 1794776, Brown County Records, being located in part of the Northwest 1/4 of the Southeast 1/4 of Section 17, T24N-R20E, in the Village of Howard, Brown County, Wisconsin.



Location Map



Index of Sheets

- 1.0 Title Sheet
- 2.0 Existing Site
- 2.1 Site Plan
- 2.2 Site Utility Plan
- 2.3 Site Grading Plan

DEVELOPER:
COMMUNITY FIRST CREDIT UNION
Contact: Jeff Schweitzer
2626 S. Oneida St.
Appleton, WI 54915-2101
Phone: 920-830-7200

CONTRACTOR:
MIRON CONSTRUCTION CO., INC.
Contact: David Voss III
1471 McMahon Drive
Neenah, WI 54956
Phone: 920-969-7000

ARCHITECT:
PERFORMA, INC.
Contact: Steve Willie
124 North Broadway
De Pere, WI 54115
Phone: 920-336-9929

SITE ENGINEER
MAU & ASSOCIATES, LLP
Contact: Chris Linskens, PE
400 Security Blvd
Green Bay, WI 54313
Phone: 920-434-9670



NO.	REVISIONS	BY	DATE	DATE

Proposed Building
Community First Credit Union
HOWARD, WISCONSIN

MIRON
Building Excellence
MIRON CONSTRUCTION CO., INC.
1471 McMahon Drive
Neenah, WI 54956

Performa
124 N. BROADWAY
DE PERE, WISCONSIN 54115
TEL: 920-336-9929 FAX: 920-336-9929
www.performa.com

Mau & Associates
Chris Linskens, PE
400 Security Blvd
Green Bay, WI 54313
Phone: 920-434-9670

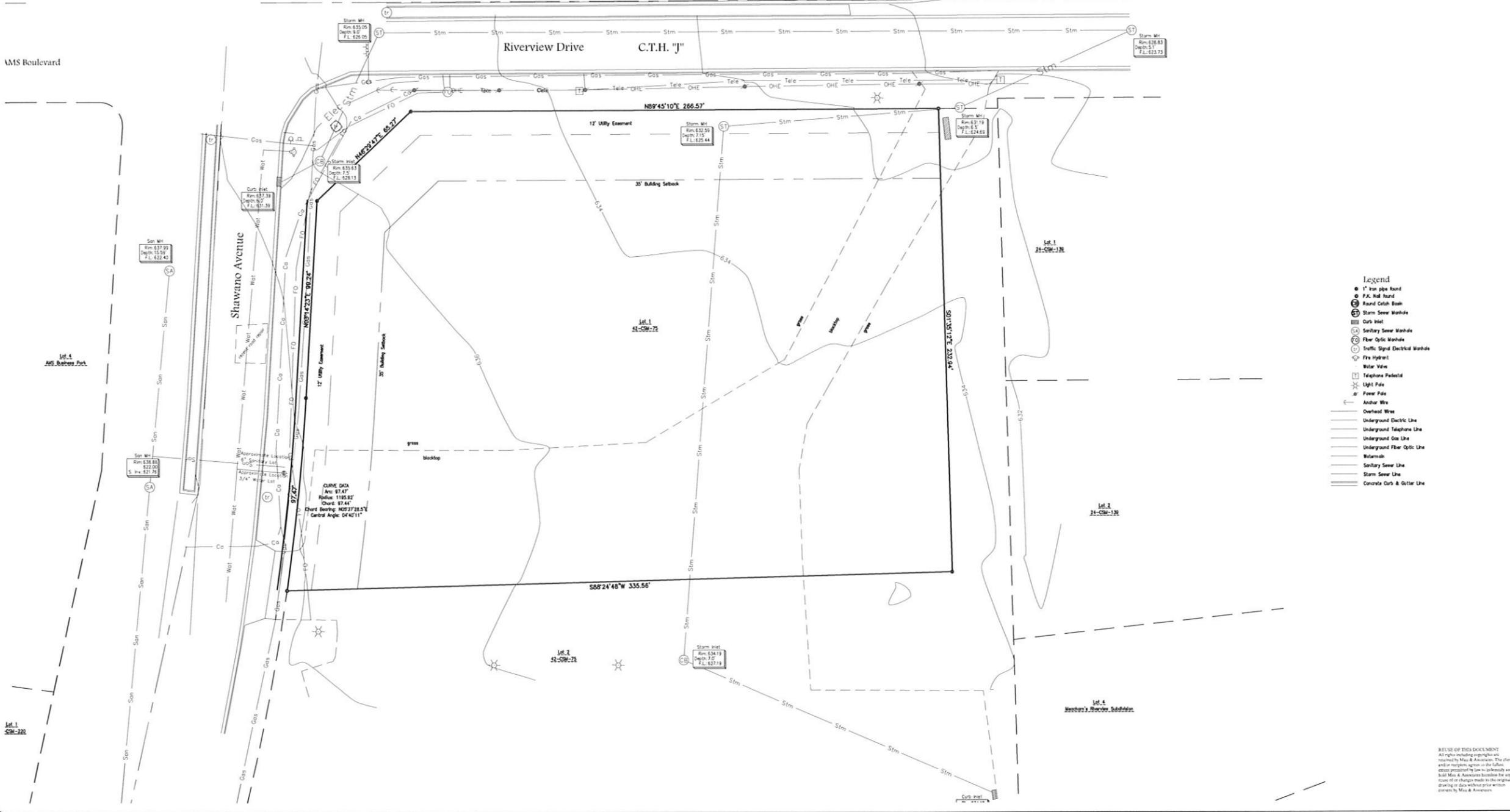
DATE: 04-04-2011
DRAWN BY: C.L.
SCALE: AS SHOWN
PROJECT NO.: C1.0
REV: S-1985

Community First Credit Union

Lot 1, Volume 42, Certified Survey Maps, page 75, Map Number 6321, Document Number 1794776, Brown County Records, being located in part of the Northwest 1/4 of the Southeast 1/4 of Section 17, T24N-R20E, in the Village of Howard, Brown County, Wisconsin.



AMS Boulevard



- Legend**
- 1" iron pipe hand
 - P.C. Half Round
 - Round Catch Basin
 - Storm Sewer Manhole
 - Curb Inlet
 - Sanitary Sewer Manhole
 - Fiber Optic Manhole
 - Traffic Signal Electrical Manhole
 - Fire Hydrant
 - Water Valve
 - Telephone Pedestal
 - Light Pole
 - Power Pole
 - Anchor Wire
 - Overhead Wire
 - Underground Electric Line
 - Underground Telephone Line
 - Underground Gas Line
 - Underground Fiber Optic Line
 - Watermain
 - Sanitary Sewer Line
 - Storm Sewer Line
 - Concrete Curb & Gutter Line

Proposed Building
Community First Credit Union
HOWARD, WISCONSIN



Performa
124 N. HOWARD, P.O. BOX 3156
HOWARD, WISCONSIN 54922
TEL: 715-835-2000 FAX: 715-835-2999
www.performawis.com

Mau & Associates
CIVIL & WATER RESOURCE ENGINEERING
400 Brown County Road, Wisconsin 54911
Phone: 715-835-2000 Fax: 715-835-2999

DATE	04-04-2011
SCALE	1"=20'
CAD FILE	C-2911Eng211112DWG
DRAWING NO.	C2.0
PROJECT NO.	S-1985

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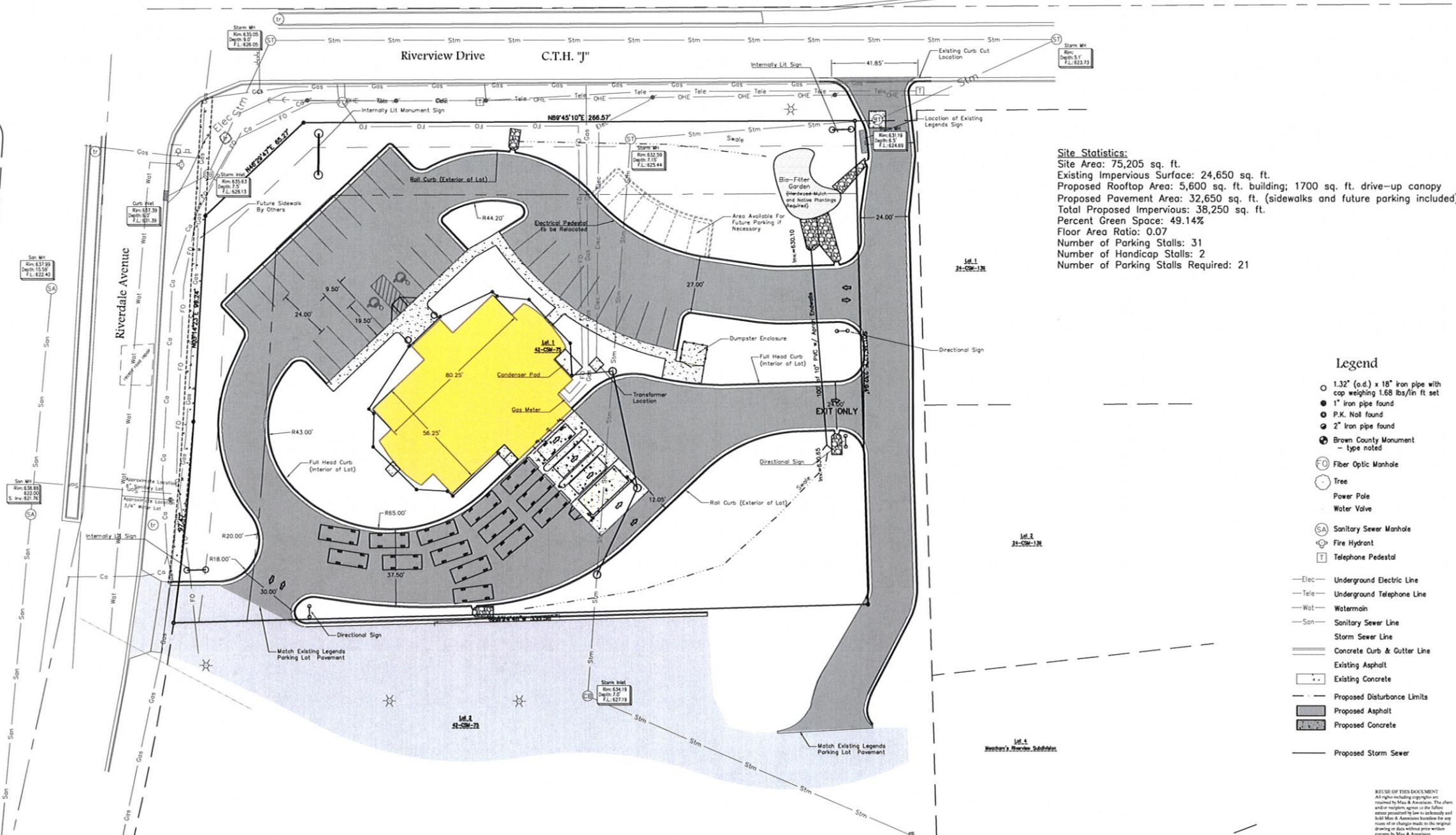
NO.	BY	DATE	NO.	REVISIONS

Community First Credit Union

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AMS Boulevard



Site Statistics:
 Site Area: 75,205 sq. ft.
 Existing Impervious Surface: 24,650 sq. ft.
 Proposed Rooktop Area: 5,600 sq. ft. building; 1700 sq. ft. drive-up canopy
 Proposed Pavement Area: 32,650 sq. ft. (sidewalks and future parking included)
 Total Proposed Impervious: 38,250 sq. ft.
 Percent Green Space: 49.14%
 Floor Area Ratio: 0.07
 Number of Parking Stalls: 31
 Number of Handicap Stalls: 2
 Number of Parking Stalls Required: 21

Legend

- 1.32" (o.d.) x 18" iron pipe with cap weighing 1.68 lbs/in ft set
- 1" iron pipe found
- P.K. Nail found
- 2" iron pipe found
- Brown County Monument - type noted
- Fiber Optic Manhole
- Tree
- Power Pole
- Water Valve
- Sanitary Sewer Manhole
- Fire Hydrant
- Telephone Pedestal
- Elec— Underground Electric Line
- Tele— Underground Telephone Line
- Wat— Watermain
- San— Sanitary Sewer Line
- Storm— Storm Sewer Line
- Concrete Curb & Gutter Line
- Existing Asphalt
- Existing Concrete
- Proposed Disturbance Limits
- Proposed Asphalt
- Proposed Concrete
- Proposed Storm Sewer

Proposed Building
 Community First Credit Union
 HOWARD, WISCONSIN



Performa
 124 N. Wisconsin, P.O. Box 5104
 Howard, Wisconsin 54431
 920-338-9929 FAX: 920-338-2989 www.performaplanning.com

Mau & Associates
 LAND SURVEYING & PLANNING
 CIVIL & WATER RESOURCE ENGINEERING
 400 S. Wisconsin, P.O. Box 1111
 Howard, Wisconsin 54431
 920-338-9929 FAX: 920-338-2989 www.mau.com

DATE	04-04-2011
SCALE	1"=20'
PROJECT NO.	C2.1
REV	5-1985

NO.	REVISIONS	DATE	BY	DATE

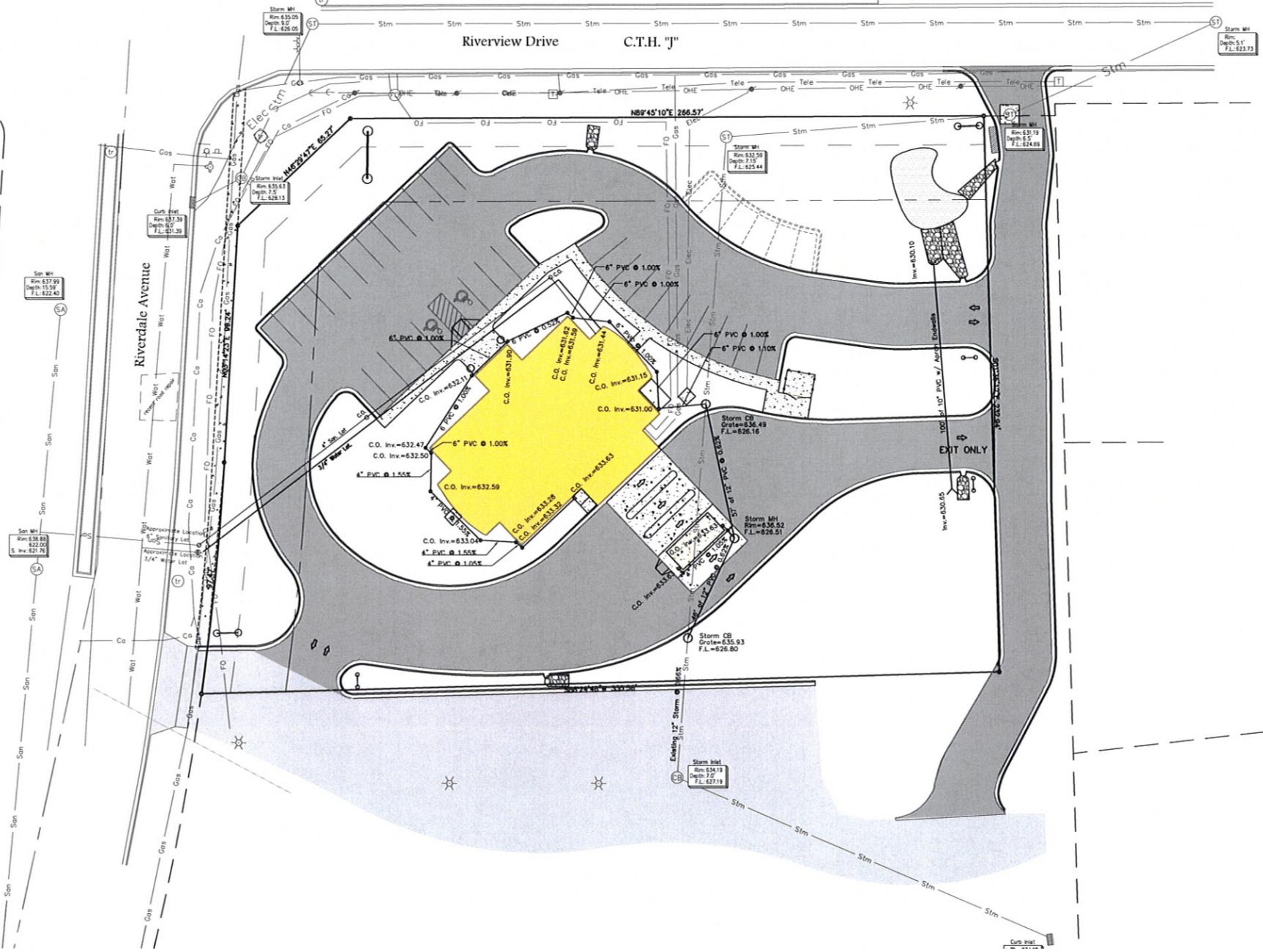
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Community First Credit Union

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AMS Boulevard



Legend

- 1.32" (o.d.) x 18" iron pipe with cap weighing 1.68 lbs/in ft set
- 1" iron pipe found
- P.K. Not found
- 2" iron pipe found
- Brown County Monument - type noted
- Fiber Optic Manhole
- Tree
- Power Pole
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- Sanitary Sewer Manhole
- Fire Hydrant
- Telephone Pedestal
- Elec — Underground Electric Line
- Tele — Underground Telephone Line
- Wat — Watermain
- San — Sanitary Sewer Line
- Stm — Storm Sewer Line
- Concrete Curb & Gutter Line
- Existing Asphalt
- Existing Concrete
- Proposed Disturbance Limits
- Proposed Asphalt
- Proposed Concrete
- Proposed Sanitary Sewer
- Proposed Storm Sewer
- Proposed Watermain

Proposed Building
Community First Credit Union
HOWARD, WISCONSIN



Performa
124 N. WISCONSIN ST., SUITE 1117
MILWAUKEE, WISCONSIN 53233
TEL: 414-224-2200 FAX: 414-224-2205
www.performainc.com

Mau & Associates
CIVIL & WATER RESOURCE ENGINEERING
400 Brown Avenue • Green Bay, Wisconsin 54301
Phone: (920) 875-7100 Fax: (920) 875-7172

NO.	REVISIONS	BY	DATE

DRWN	C.J.L.
DATE	04-04-2011
SCALE	1"=20'
CD FILE	C-2011eng031811.DWG
PROJECT NO.	C2.2
REV.	S-1985

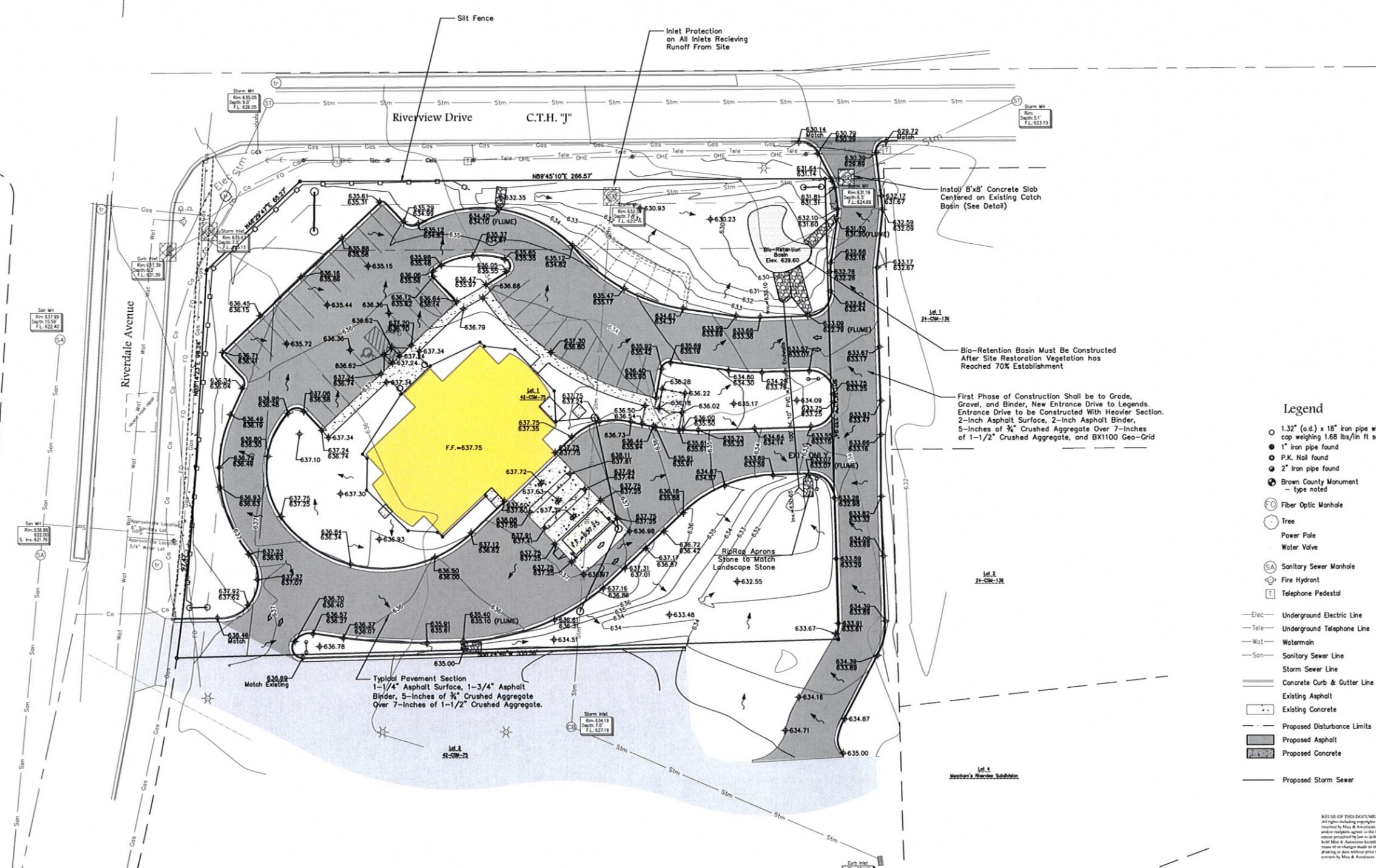
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consent by Mau & Associates.

Community First Credit Union

Lot 1, Volume 42, Certified Survey Maps, page 75, Map Number 6321, Document Number 1794776, Brown County Records, being located in part of the Northwest 1/4 of the Southeast 1/4 of Section 17, T24N-R20E, in the Village of Howard, Brown County, Wisconsin.



AMS Boulevard



Legend

- 1.32" (o.d.) x 18" iron pipe with cap weighing 1.68 lbs/in ft set
- 1" iron pipe found
- P.K. Nail found
- 2" iron pipe found
- Brown County Monument - type noted
- Fiber Optic Manhole
- Tree
- Power Pole
- Water Valve
- SA Sanitary Sewer Manhole
- Fire Hydrant
- Telephone Pedestal
- Elec — Underground Electric Line
- Tele — Underground Telephone Line
- Wat — Watermain
- San — Sanitary Sewer Line
- Stm — Storm Sewer Line
- Concrete Curb & Gutter Line
- Existing Asphalt
- Existing Concrete
- Proposed Disturbance Limits
- Proposed Asphalt
- Proposed Concrete
- Proposed Storm Sewer

Proposed Building
Community First Credit Union
HOWARD, WISCONSIN



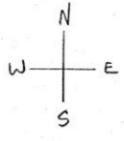
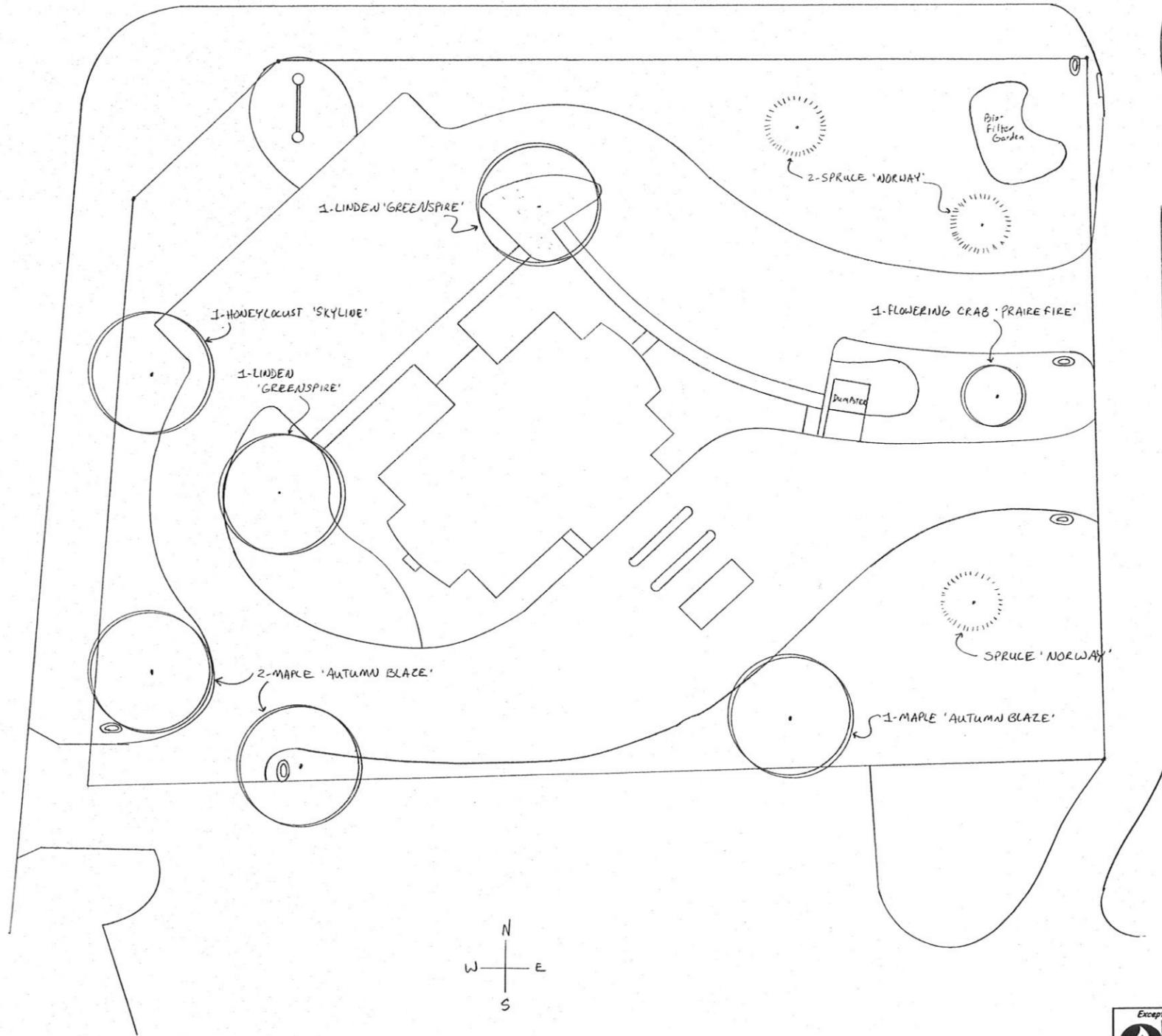
Performa
124 N. WISCONSIN ST., SUITE 200
MILWAUKEE, WI 53233
TEL: 414-224-2200 FAX: 414-224-2201
www.performainc.com

Mau & Associates
CIVIL & WATER RESOURCES ENGINEERING
4000 North Lincoln Drive, Suite 200
Milwaukee, WI 53212
TEL: 414-224-2200 FAX: 414-224-2201

NO.	DATE	BY	REVISIONS

DATE: 04-04-2011
SCALE: 1"=20'
PROJECT NO.: C2.3
REV: S-1985

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Exceptional Landscapes For Exceptional Homes!

Oberstadt

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CFCU-HOWARD BRANCH		
SCALE: 1"=20'	APPROVED BY:	DRAWN BY JLO
DATE: 3-29-11		REVISED
		DRAWING NUMBER

4' Berm with
Lannon Stone
Outcroppings

1-WEIGELA 'WINE & ROSES'
1-SUMAC 'TIGER EYES'

2-SHRUB ROSE 'BLUSHING KNOCKOUT'
3-BARBERRY 'PYGMY'
1-JUNIPER 'CALGARY CARPET'

1-HYDRANGEA TREE
'PINK DIAMOND'

1-LINDEN 'GREENSPIRE'

1-FLOWERING CRAB 'TINA'
6-SHRUB ROSE 'BLUSHING KNOCKOUT'
6-JUNIPER 'CALGARY CARPET'

BIO-FILTER
GARDEN
150 Native
Perennials
w/ Hardwood Mulch

6-BARBERRY
'HILMOOD'S PILLAR'
6-BOXWOOD 'GREEN VELVET'

7-SPIREA 'TOR'

2-BUCKTHORN 'FERNLEAF'

6-WEIGELA
'WINE & ROSES'

6-Sedum
'Autumn Joy'

1-'AUSTRIAN'
PINE

2-SHRUB ROSE
'BELLE POINTEVINE'

1-SPRUCE 'GLOBE BLUE'
1-LILAC 'IVORY SILK' SINGLE STEM

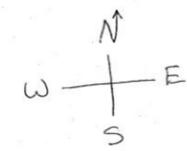
5-JUNIPER 'MT. BATTEN'
1-HYDRANGEA 'PINK DIAMOND'

8-BOXWOOD 'GREEN VELVET'
2-HYDRANGEA TREE 'PINK DIAMOND'

1-AUSTRIAN PINE
5-SPIREA 'GREIFSHIEM'
1-NINEBARK 'DIABLO'

1-LINDEN 'GREENSPIRE'

9-SHRUB ROSE 'BLUSHING KNOCKOUT'
1-JUNIPER PROCUMBENS ON STD.
2-HYDRANGEA 'QUICK FIRE'
3-JUNIPER 'MT. BATTEN'

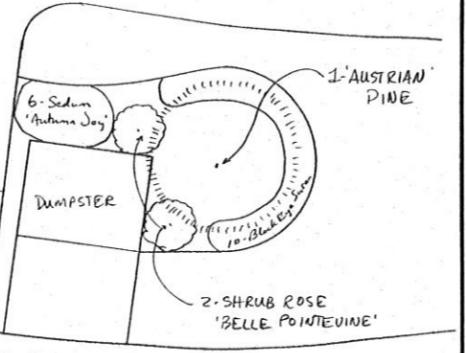


3-WEIGELA 'WINE & ROSES'
1-FLOWERING CRAB 'ROYAL RAINDEEP'
1-SPRUCE 'GLOBE BLUE'

1-SPRUCE 'BIRDS NEST'
1-MAGNOLIA 'LEONARD MESSEL'

9-SALVIA 'Daisy Becky'
5-LILAC 'DW. KOREAN'

7-COTONEASTER 'CRANBERRY'



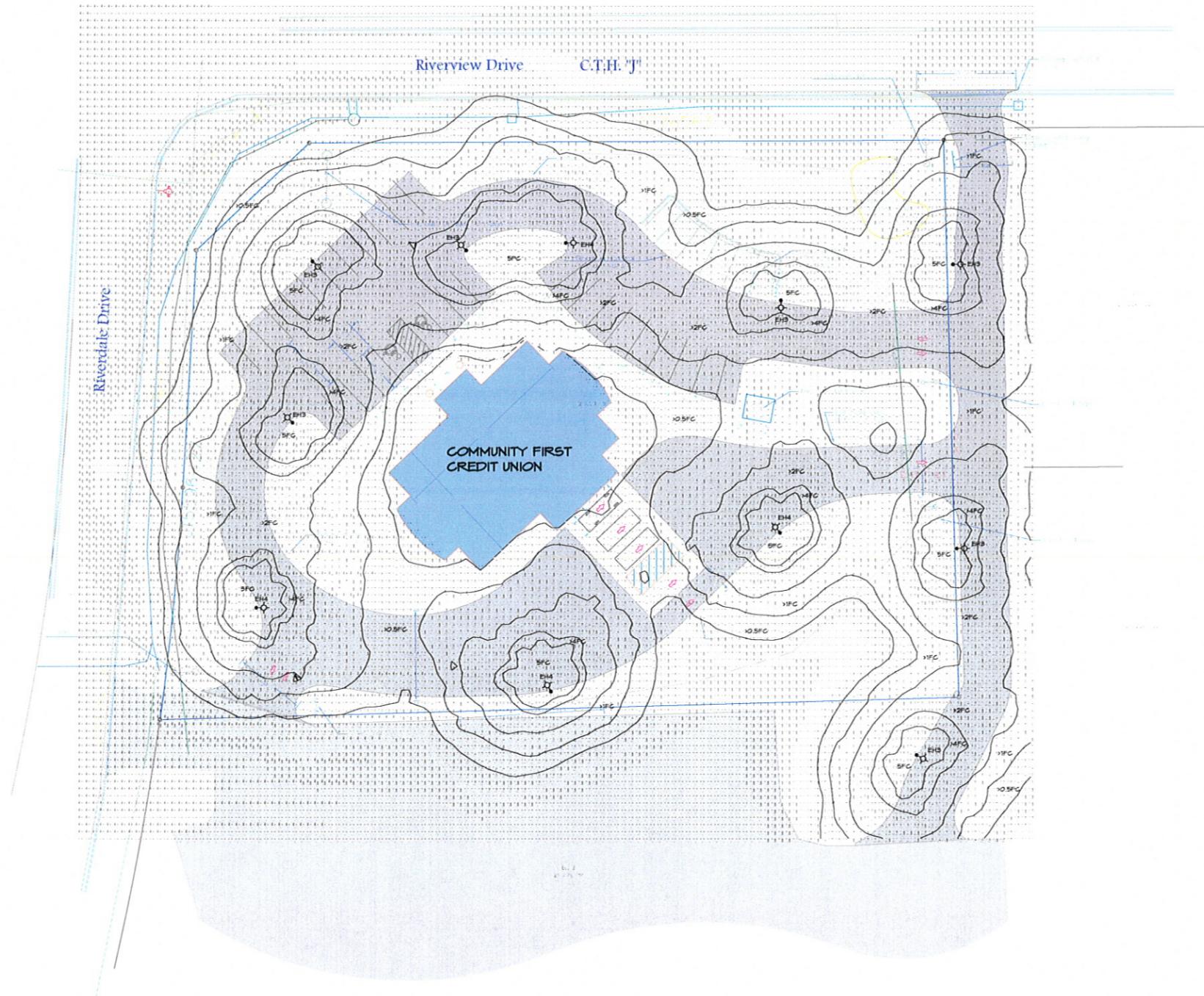
S- DIRECTIONAL SIGNAGE BEDS

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CFCU - HOWARD BRANCH		
SCALE: 1/8"=10'	APPROVED BY:	DRAWN BY JLO
DATE: 3-29-11		REVISED
		DRAWING NUMBER



POLE DRILLING TEMPLATE

WALL MOUNT

LAMP SIZE 100-400 WATT

ORDERING INFORMATION

OPTICS	LAMP	MOUNTING	FINISH	OPTIONS
<input type="checkbox"/> OPT 1 <input type="checkbox"/> OPT 2 <input type="checkbox"/> OPT 3 <input type="checkbox"/> OPT 4 <input type="checkbox"/> OPT 5 <input type="checkbox"/> OPT 6 <input type="checkbox"/> OPT 7 <input type="checkbox"/> OPT 8 <input type="checkbox"/> OPT 9 <input type="checkbox"/> OPT 10 <input type="checkbox"/> OPT 11 <input type="checkbox"/> OPT 12 <input type="checkbox"/> OPT 13 <input type="checkbox"/> OPT 14 <input type="checkbox"/> OPT 15 <input type="checkbox"/> OPT 16 <input type="checkbox"/> OPT 17 <input type="checkbox"/> OPT 18 <input type="checkbox"/> OPT 19 <input type="checkbox"/> OPT 20 <input type="checkbox"/> OPT 21 <input type="checkbox"/> OPT 22 <input type="checkbox"/> OPT 23 <input type="checkbox"/> OPT 24 <input type="checkbox"/> OPT 25 <input type="checkbox"/> OPT 26 <input type="checkbox"/> OPT 27 <input type="checkbox"/> OPT 28 <input type="checkbox"/> OPT 29 <input type="checkbox"/> OPT 30 <input type="checkbox"/> OPT 31 <input 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U.S. ARCHITECTURAL LIGHTING

SITE LIGHT FIXTURE SCHEDULE

FIXTURE	MOUNTING	DESCRIPTION	VOLT	LAMP	BALLAST PER FIXT.	WATTS PER FIXT.	MANUF.	CATALOG NUMBER	NOTES
EH3	POLE	TYPE 3 DISTRIBUTION, 25FT SQ STRAIGHT STEEL	120	400W MH	1	450	US ARCHITECTURAL	AER/1V/400MH/1V/DBM	
	POLE	TYPE 3 DISTRIBUTION, 25FT SQ STRAIGHT STEEL	120	400W MH	1	450	PARADISE	PDH243 400W DB SA ESCL	
	POLE	TYPE 3 DISTRIBUTION, 25FT SQ STRAIGHT STEEL	120	400W MH	1	450	KM	1A/AR3/400MH120/DB-P	
EH4	POLE	TYPE 4 DISTRIBUTION, 25FT SQ STRAIGHT STEEL	120	400W MH	1	450	US ARCHITECTURAL	AER/1V/400MH/1V/DBM	
	POLE	TYPE 4 DISTRIBUTION, 25FT SQ STRAIGHT STEEL	120	400W MH	1	450	PARADISE	PDH24F 400W DB SA ESCL	
	POLE	TYPE 4 DISTRIBUTION, 25FT SQ STRAIGHT STEEL	120	400W MH	1	450	KM	1A/AR4/400MH120/DB-P	

LIGHT FIXTURE SCHEDULE NOTES

- 1)
- 2)
- 3) FIXTURES FROM OTHER MANUFACTURERS MATCHING THE STYLE, QUALITY, CONSTRUCTION TYPE, PHOTOMETRICS, ETC MAY BE SUBMITTED.

SITE PHOTOMETRIC PLAN
SCALE: 1" = 20'-0"

SYMBOL LIST
◊ SINGLE FIXTURE HEAD MOUNTED ON 25 FOOT SQUARE POLE

NEA HOWARD BRANCH
COMMUNITY FIRST CREDIT UNION
2144 RIVERVIEW DRIVE GREEN BAY, WI 54313

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PLANNING & ARCHITECTS & ENGINEERS
1204 WASHINGTON AVENUE
GREEN BAY, WI 54301
TEL: 920.833.1100 FAX: 920.833.1101 www.performawis.com

SITE PHOTOMETRIC PLAN

DATE: 03/31/11
SCALE: As Indicated
PROJECT NO: 11007