



**Meeting Date:** 4/18/11  
**Agenda Item:** # 12

**Mission Statement**  
 Provide quality services in a modern, courteous and cost-efficient manner.

**PLAN COMMISSION STAFF REPORT**

**REPORT TO:** President Burt McIntyre & Village Plan Commission

**REPORT FROM:** David L. Wiese, Executive Director of Community Development

**AGENDA ITEM:** Review and take action on the site plan for Fortress Fence for additional yard space and the installation of additional fencing at 2100-2102 Woodale Avenue, VH- 316

**THE PLAN COMMISSION HAS FINAL REVIEW AUTHORITY FOR THIS MATTER**

**POLICY ISSUE**

Is the site plan consistent with the trend of development in the neighborhood and with the desires of the Village for development along the Lakeview Drive corridor?

**RECOMMENDED ACTION BY PLAN COMMISSION**

Approve the applicant’s plan with any conditions as may be necessary to improve aesthetics, preserve the integrity of the neighborhood, and address concerns of staff and Commission members.

**POLICY ALTERNATIVE(S)**

The Plan Commission could take the following action:

- Approve the request without conditions.
- Approve the request with conditions.
- Deny the request
- Table the request until a later meeting date

**BASIC INFORMATION**

Project Name	Fortress Fence
Applicant	Mike Grzybowski
Phone	920-490-9333 gbsales@ffence.com
Consultant/Engineer	Mach IV, Bob Mach
Parcel Size	VH-316 1.70acres
Existing Zoning	I-1 General Industrial
Current Zoning	I-1 General Industrial

**ADJACENT LAND/ZONING MATRIX**

	LAND USE	ZONING
North	Business-Fortress Fence	I-1
South	Ag-Five Hills Family LLP	I-1
East	Commercial/Industrial-Countertop Specialists I	I-1/ R-5
West	Commercial/Industrial-Makaran Properties LLC	I-1

Land Map Industrial

## **BACKGROUND INFORMATION**

The subject property is located at the northwest corner of Woodale Avenue and Lakeview Drive. The property previously was occupied by a residential duplex that has since been razed. The applicant is proposing to expand their existing fenced in gravel yard onto this property. No additional structures will be constructed. The yard will be fenced in with slatted fence to match the existing fence on the property.

The property will be landscaped with perimeter trees and shrubs to match the existing property. The applicant is proposing to add 14 new trees and shrubs and plants in the biofilter area. This parcel will have approximately 24.4% green space.

*No building or any improvement shall be erected, placed, or altered on any building site in the Industrial (I-1) zoning district until the plans for such building or improvement, including the site plan, landscape plan, building plan and specifications, have been submitted for review to the village plan commission. The village plan commission shall approve, conditionally approve or disapprove such plans with respect to conformity with this section and other applicable codes and ordinances of the village and with respect to harmony of external design and land use as it affects property within and adjacent to the General Industrial (I-1) zoning district. Failure on the part of the village plan commission to act within 60 days of submission shall constitute approval of such plans.*

## **EXECUTIVE ANALYSIS**

1. **Zoning:** The property is properly zoned for the existing and proposed use.
2. **Setbacks:** N/A
3. **Parking:** N/A
4. **Floodplain, Shoreland Zoning & Stormwater Management:** Village of Howard Engineering Department must approve a stormwater management plan.
5. **Land Division:** N/A
6. **Lighting:** All new lighting will need to comply with Chapter 50 exterior lighting regulations.
7. **Lot and Width Area:** The existing lot complies with the minimum lot width and area regulations for the I-1 zone.
8. **Driveway Locations:** Existing

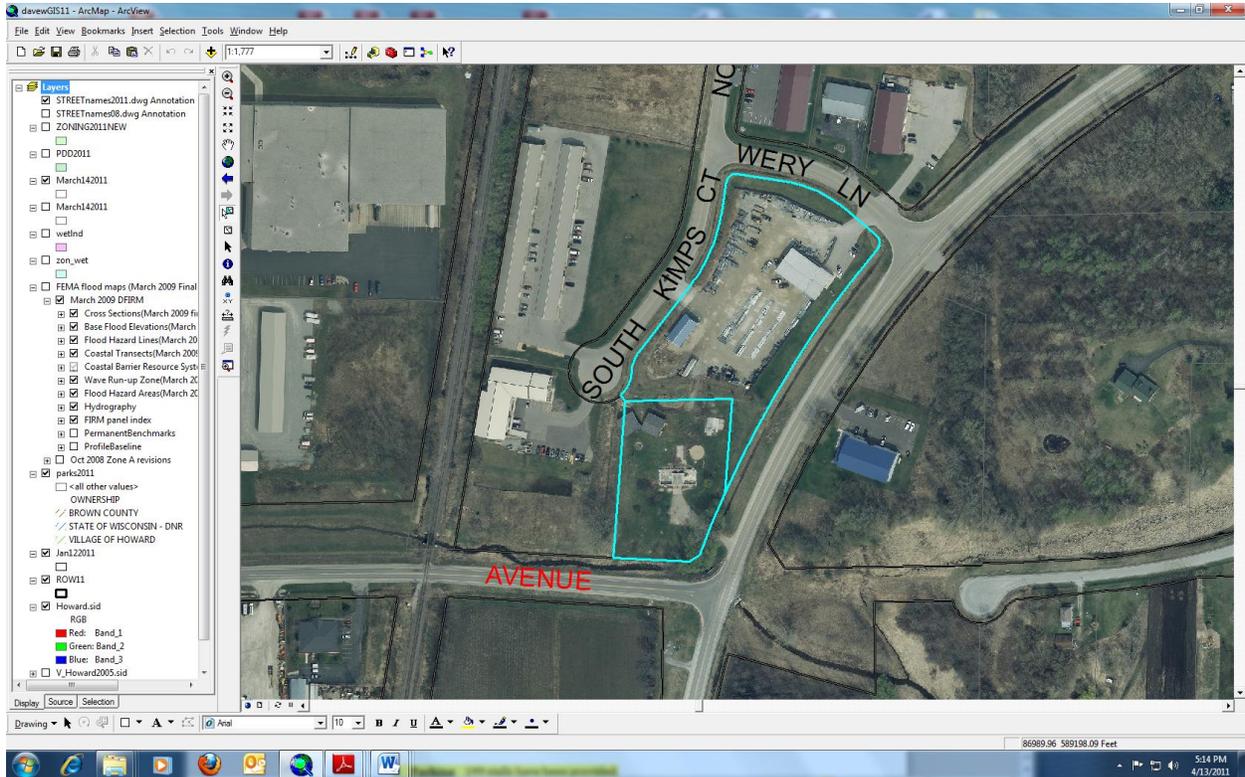
## **CODE REQUIRED CONDITIONS and RESTRICTIVE COVENANTS REQUIREMENTS**

- (1) All new lighting will need to comply with Chapter 50 exterior lighting regulations.
- (2) A stormwater management plan needs to be approved by the Village of Howard Engineering Department.
- (3) Landscape Design Plans must be submitted with building plans before receiving a building permit. The plan will be reviewed by the Village Forester. Number of trees required will be 8 trees per acre and 14 shrubs per acre.
- (4) A minimum of twenty-five (25) percent green space is required for the overall site.
- (5) No outside storage of any kind shall be permitted unless such stored material is visually screened from all streets with a six (6) foot high suitable fence, vegetation, berm, or combination thereof. Screening shall be attractive in appearance and in keeping with the architectural quality of the main structure.
- (6) Storage areas shall be maintained in an orderly and dust free condition.

## ATTACHMENTS

- I Location Map
- II Site Plan Review Application signature page
- III Photos of the site
- IV Site Plan
- V Restrictive Covenants

## ATTACHMENT I



## ATTACHMENT II

### REQUIRED

(Please label and attach a submittal of listed items which apply to your request)

**ATTACHMENT I (please label each attachment) A plat** of survey or the equivalent thereof depicting the location, dimensions, boundaries, uses and size of the site.

1. **ATTACHMENT II (please label each attachment) A site plan** including the following:

- a. Density and floor area ratio **n/a**
  - b. Building heights and setbacks **n/a**
  - c. Size & location of lots
  - d. Screening and fencing
  - e. Location of sanitary and storm sewer lines
  - f. Location of water mains
  - g. Site drainage
  - h. Location of roads, driveways and walks
  - i. Existing and proposed structures, parking, loading areas, ingress/egress points
  - j. Location of recreational and open space areas reserved or dedicated for public uses **n/a**
  - k. Percentage of green space & impervious surface **75.6% impervious, 24.4% green**
2. **ATTACHMENT III (please label each attachment) Landscape plan** including table depicting quantity, size and name of species.
3. **ATTACHMENT IV (please label each attachment) Lighting plan** showing photometry and a specification sheet of all fixtures to be used. **n/a**
4. **ATTACHMENT V (please label each attachment) Full-color rendering** of building facades and large samples of colors and building materials that will be used on the project. **n/a**
5. **ATTACHMENT VI (please label each attachment) Sign plan** with dimensions of sign. **N/A**

**Application Requirements: Please submit this application with all attachments and please properly label each attachment in an electronic format. Microsoft Word is preferred for the application and attachments. It is acceptable to submit the attachments in pdf or Autocad. The Village will need 11 paper copies of all materials for all color documents that are submitted.**

With this signature, I certify that all required materials above have been submitted. Furthermore, I understand any required materials not submitted will result in an incomplete application. Incomplete applications will be returned to the applicant until all required materials are submitted.

X



Applicant Signature

Date: 8/27/10

**ATTACHMENT III**







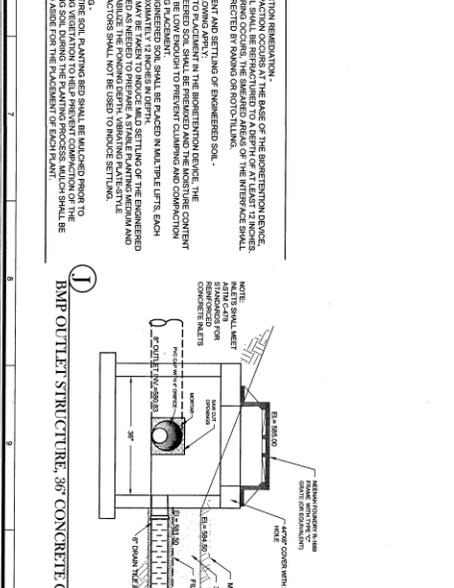
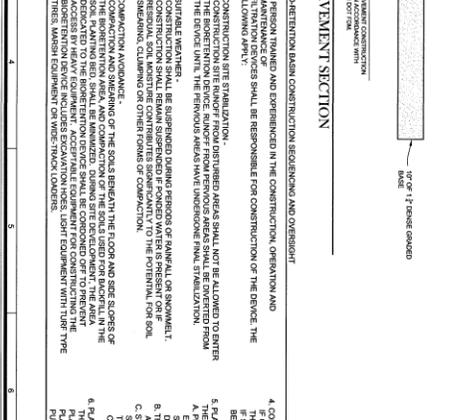
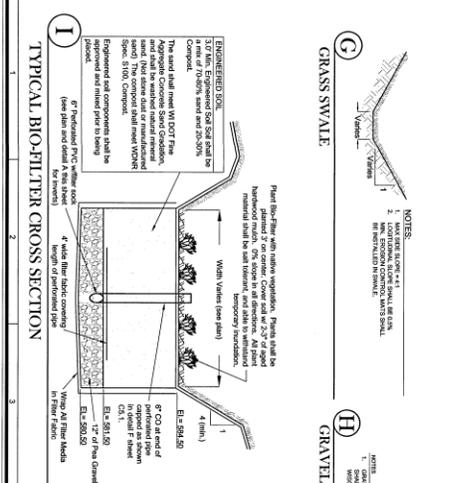
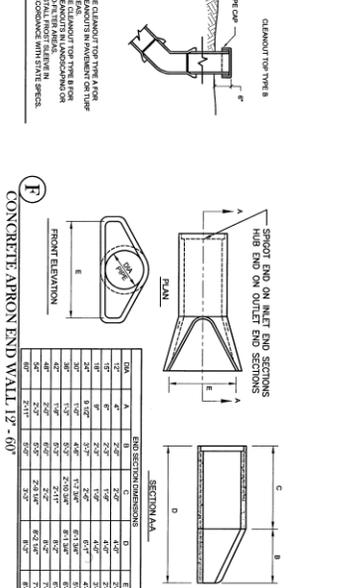
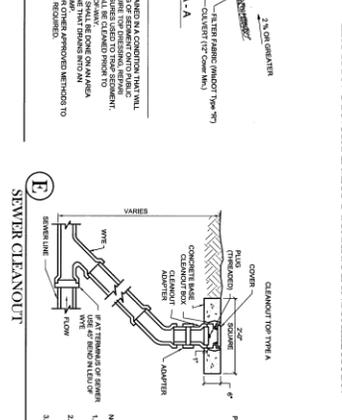
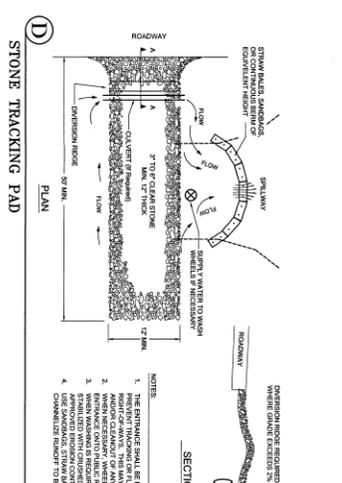
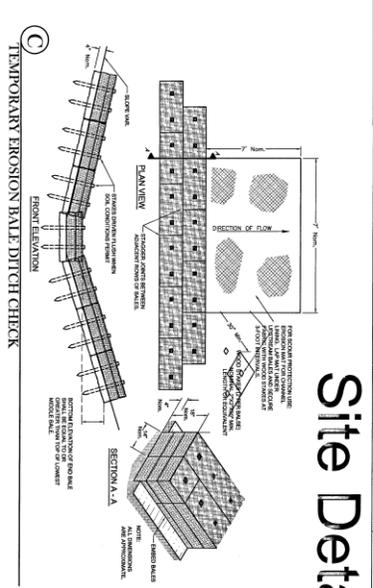
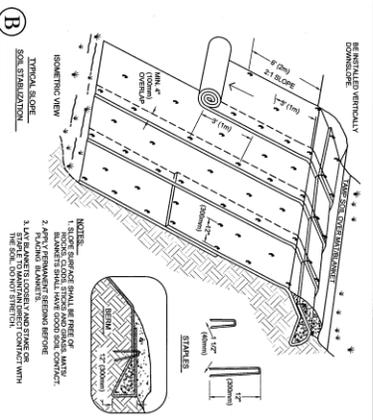
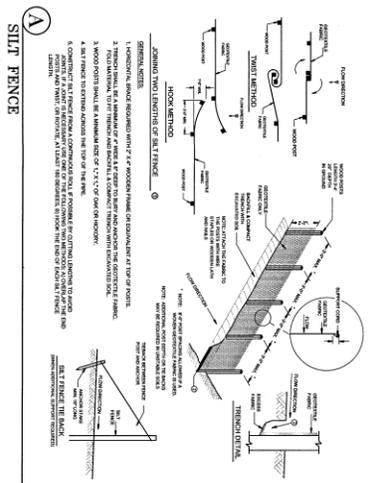








# Site Details



NOTES:

1. ALL DIMENSIONS SHALL BE IN FEET AND INCHES.
2. ALL MATERIALS SHALL BE AS SPECIFIED IN THE NOTES.
3. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE SPECIFICATIONS.
4. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE SPECIFICATIONS.



## ATTACHMENT V

### VILLAGE OF HOWARD BROOKFIELD INDUSTRIAL PARK LAND USE CONTROLS

#### 1. PLAN APPROVAL

No building, or any improvement shall be erected, placed or altered on any building site in the Industrial Park until the plans for such building or improvement, including site plan, landscape plan, building plan, and specifications have been approved by the Village Board or its designated agent or representative. Said Village Board or its designated agent or representative shall approve or disapprove such plans with respect to conformity with these controls all other applicable enactments of the Village, and with respect to harmony of external design and land use as it affects property within and adjacent to the Industrial Park.

Failure of the aforesaid Village Board or its designated agent or representative to act upon such building or improvement plans within sixty (60) days after submission to the Village of Trustees shall constitute an approval of such plans.

#### 2. SETBACKS

- A. No part or portion of any building shall be erected constructed, or extended nearer than thirty (30) feet of the front line of any parcel in said Industrial Park. Employee Parking of automobiles shall be prohibited at all times within thirty (30) feet of the front line of any parcel in said Industrial Park. Parking may be allowed within the thirty (30) foot setback when approved by the Village Board or its designated agent or representative but not closer than ten (10) feet from the curb and gutter line. The thirty (30) foot setback shall be entirely graded and sodded or seeded between side for lines and from the road shoulder to the building face in a manner that will produce an acceptable lawn, excepting only such areas as may be required for driveways, visitor parking, or walks.
- B. All driveways shall be surfaced with hot-mixed asphalt or concrete from the Village street surface to the front building face. All walks shall be of concrete.
- C. All such landscaping, drive, and walks shall be completed within one (1) year after occupancy of building.

D. No part or portion of any building shall be erected, constructed or extended nearer than ten (10) feet to any interior side lot or easement. Setbacks on the street side of corner lots shall be thirty (30) feet, and the use of such area shall be in accordance with the provisions of paragraph 2 of these controls. The parking or storage of company owned trucks, products or equipment shall be prohibited in this area. No part or portion of any building shall be erected, constructed, or extended nearer than fifteen (15) feet to any rear lot line, or within any easement.

### 3. CONSTRUCTION AND MATERIALS

The front of all buildings, and the side, extending a minimum of twenty (20) feet, or rear of all buildings when facing a street (including side streets on corner lots) shall be faced with decorative masonry or other material approved by the Village Board or its designated agent or representative, and said facing shall extend to a natural dividing point approved by the Village Board or its designated agent or representative.

The front of a building that is set back two hundred (200) feet or more may be partially faced with concrete block, subject to approval of said Village Board or its designated agent or representative. On corner lots, if the side of the building, other than the front, is set back two hundred (200) feet or more from the side lot line, then the facing may be of any material as approved by the Village Board as long as it is consistent with other provisions herein. For the purpose of this control, standard, lightweight or cinder concrete block with conventional staggered joint design are not considered decorative masonry.

All faces of the buildings must be kept in good repair and appearance at all times.

No building shall be so similar to or so at variance with neighboring buildings as to constitute a depreciation to the immediate neighborhood.

### 4. LANDSCAPING

A minimum of twenty-five (25) percent greenspace is required for the overall site. The front yard area of the site be graded, landscaped, and planted with trees, shrubs, ground cover, and appropriate natural landscaping materials, and shall be in place within one (1) year after occupancy of building. Landscaping shall relate to buildings and paved surfaces as to scale, mass, size, shape, and color. At time of planting, vegetation shall be of sufficient size as to noticeably enhance the site (i.e. whips are inappropriate as primary landscaping elements). Existing trees should be preserved whenever possible and may be substituted for part of the required landscaping. Plant material shall be of hardy quality, preferable native of Wisconsin. Weedy or short-lived trees such as Box Elder, Poplar, American Elm, or Willow shall not be acceptable. Property owners shall be responsible for maintenance of vegetation and replacement of any defective plant material.

Landscape Design Plans must be submitted with building plans before receiving a building permit. The plan will be reviewed by the Village Forester. Number of trees required will be 8 trees per acre and 14 shrubs per acre.

Before a Certificate of Occupancy is given all landscaping must be provided. In the event it is not done or completed, the Village must be given an irrevocable Letter of Credit

or Certified Check payable to the Village, in an amount equaling one and one-half (1 ½) times the cost of all incomplete landscaping and including a one (1) year guaranty cost as determined reasonable by the Forester. If work is not completed within six (6) months of occupancy, the security will be used by the Village to complete the installation.

Failure to maintain landscaping at any time will provide the Village the right to maintain any landscaping and assess the property owner for any costs occurred.

All grass and weeds must be cut whenever necessary. If grass and weeds are not maintained the Village of Howard may serve notice and if not complied with in one (1) week, the Village may cut same and add this cost to the lot owners' real estate tax bill.

#### 5. PARKING

All parking lots shall be surfaced with hot-mixed asphalt or concrete. All walks shall be of concrete. One (1) parking stall of not less than one hundred eighty (180) square feet, excluding drives and approaches, shall be provided on each property for every one thousand (1000) square feet of building area or for every two (2) employees, whichever amount constitutes the greater number of stalls. Parking stalls shall be added on each property as required to accommodate all employees. Variances may be granted by the Village Board for warehouse or similar uses upon proof that such parking controls are not realistic. Village streets will not be designed by the Village to provide parking.

#### 6. OUTDOOR STORAGE

No outside storage of any kind shall be permitted unless such stored material is visually screened from all streets with a six (6) foot high suitable fence, vegetation, berm, or combination thereof. Screening shall be attractive in appearance and in keeping with the architectural quality of the main structure. Said storage shall be limited to behind the front line of the building on the property. No waste material or refuse may be dumped or permitted to remain on any part of the property outside of the buildings. Outdoor storage of fuel oil or other bulk fluids must be underground unless otherwise approved. Storage areas shall be maintained in an orderly and dust free condition.