



**Meeting Date:** 10/24/11  
**Agenda Item:** #12

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## PLAN COMMISSION STAFF REPORT

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**REPORT TO:** President Burt McIntyre and Village Plan Commission

**REPORT FROM:** James Korotev, Director of Code Administration

**AGENDA ITEM:** Review and take action on a plan for a building addition for Brian Falk of Falk's Carpet at 2674 North Packerland Drive, VH-726-9.  
**THE PLAN COMMISSION HAS FINAL REVIEW AUTHORITY FOR THIS MATTER**

**OWNER/APPLICANT:** Brian R. Falk/Falk's Carpet, Inc.

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### **BACKGROUND INFORMATION**

The applicant is requesting approval to construct a 324-square-foot building addition to be used for storage at the above referenced address. In all business and industrial zoning districts, the Zoning Ordinance requires that no building or any improvement shall be erected, placed, or altered on any building site until the plans for such building or improvement, including the site plan, landscape plan, building plan and specifications, have been reviewed and approved by the Plan Commission.

### **RECOMMENDED ACTION BY PLAN COMMISSION**

If satisfied with the applicant's proposal, the Plan Commission should approve the plan with any conditions as may be necessary to improve aesthetics, preserve the integrity of the neighborhood, and address concerns of staff and Commission members.

### **CODE REQUIRED CONDITIONS**

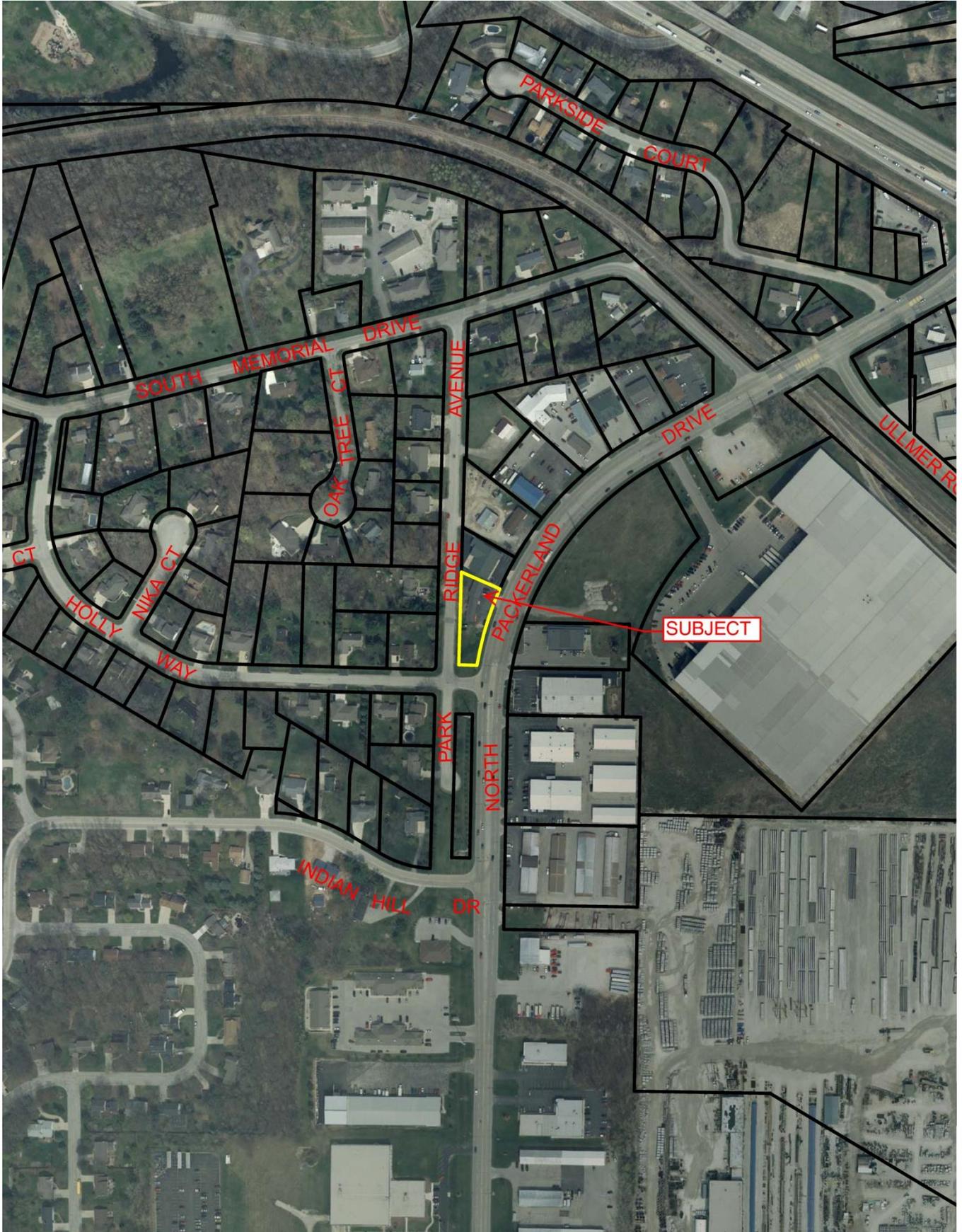
- (1) The plan submitted appears to show an identification sign mounted on the roof of the proposed addition. Roof signs are permitted as long as the top edge of the sign is not higher than the peak of the roof.
  
- (2) The plan submitted appears to show wall packs lighting on the east and south wall of the proposed addition. Wall packs shall be shielded to direct lighting downward as required by the lighting regulations of the Zoning Ordinance.

### **STAFF RECOMMENDED CONDITIONS**

- (1) This property could benefit from some well placed landscaping. It is recommended that a modest landscape plan be submitted, approved by the Village Forester, and implemented within one year.

### **ATTACHMENTS**

- I** Location Map
- II** Completed Plan Review Application
- III** Floor Plan Details
- IV-V** East and South Building Elevations
- VI** Site Plan
- VII** Photos of Existing Building and Site of Proposed Addition



**ATTACHMENT II**

OCT-05-2011 10:22

VILLAGE OF HOWARD

920 434 4643

P.001/001

OCT-5-2011 08:47 FROM:FALK'S CARPET INC. 9204943521

TO:4344643

P.1/1



- (1) INCOMPLETE APPLICATIONS CANNOT BE ACCEPTED OR PROCESSED
- (2) YOU MAY USE YOUR COMPUTER KEYBOARD TO FILL OUT THIS APPLICATION FORM
- (3) PLEASE SUBMIT COMPLETED APPLICATIONS TO THE DEPARTMENT OF CODE ADMINISTRATION AT THE ABOVE ADDRESS

ADDRESS OF SUBJECT PROPERTY (Street Number and Name) 2674 N. Packerland Dr	LOT # 3	SUBDIVISION 7 csm 197	TAX PARCEL # V. H. 726.5
PROPERTY OWNERS FULL NAME Brian Richard Falk	DAYTIME PHONE # 920 494-2709	ALTERNATE PHONE # 920 609-5522	
PROPERTY OWNERS MAILING ADDRESS (Include Zip Code) 2674 N. Packerland Dr	PROPERTY OWNERS E-MAIL ADDRESS brian@falkscarpet.com		
APPLICANT/AGENT FULL NAME AND BUSINESS NAME Brian Richard Falk Falk's Carpet Inc.	APPLICANT/AGENT PHONE # 920 609-5522	ALTERNATE PHONE #	
APPLICANT/AGENT MAILING ADDRESS (Include Zip Code) 2674 N. Packerland Dr. Green Bay WI. 54303	APPLICANT/AGENT E-MAIL ADDRESS same		
BRIEFLY DESCRIBE THE EXISTING AND PROPOSED USE OF THE PROPERTY Floor Covering Store / Same			

- Exterior Building Design** (required for all new buildings, additions and exterior alterations to existing buildings)
- Exterior elevations of all proposed new and existing buildings showing wall materials and exterior construction details (including colors)
  - Height of all proposed new buildings and structures and all existing buildings and structures
  - Specific roof types (gable, hip, flat, etc.) and roof pitches of all proposed new and existing buildings
  - Roofing materials to be used on proposed new buildings and existing roofing materials on existing buildings (including colors)

- Site Features** (required for all projects)
- Location of all proposed new and existing buildings & structures, including dimensions to property lines and to each other
  - Locations of all streets, property lines, wells, septic systems, power lines, easements, etc.
  - All proposed new and existing off-street parking drive and loading areas (location, number, size, access, etc.)
  - The total accumulated horizontal impervious surface area after development (surfaces impervious to the penetration of storm water)
  - The total accumulated greenspace on the property (non-impervious), including the percentage of lot area (post development)

- Landscaping** (required for all projects where landscaping will be installed or altered or where required by the Plan Commission)
- Number, size, species and location of all existing and proposed trees
  - Number, size, species and location of all existing and proposed shrubs and ground plantings
  - Description and location of any existing or proposed buffering (fences, berms, hedges, plantings, etc.)

- Exterior Lighting Features** (required where exterior lighting fixtures will be installed or altered)
- Number, fixture type, location and wattage of all existing and proposed building lighting
  - Number, fixture type, location, wattage and height of all existing and proposed parking lot and exterior grounds lighting
  - Number, fixture type, location, wattage and height of all existing and proposed other exterior lighting
  - Photometric plan prepared by a professional lighting designer (when required by the Plan Commission)

- Signage Details** (required for all projects where signage exists or where new signage will be installed)
- Building elevations showing the location, number, size and message of all existing and proposed building signs and building lettering
  - A site plan showing the location of all existing and proposed free-standing signs, including the distance of such signs to property lines
  - Elevations of all existing and proposed free-standing signs showing the height, width, depth, material composition, colors, illumination, sign area and message of all such signs

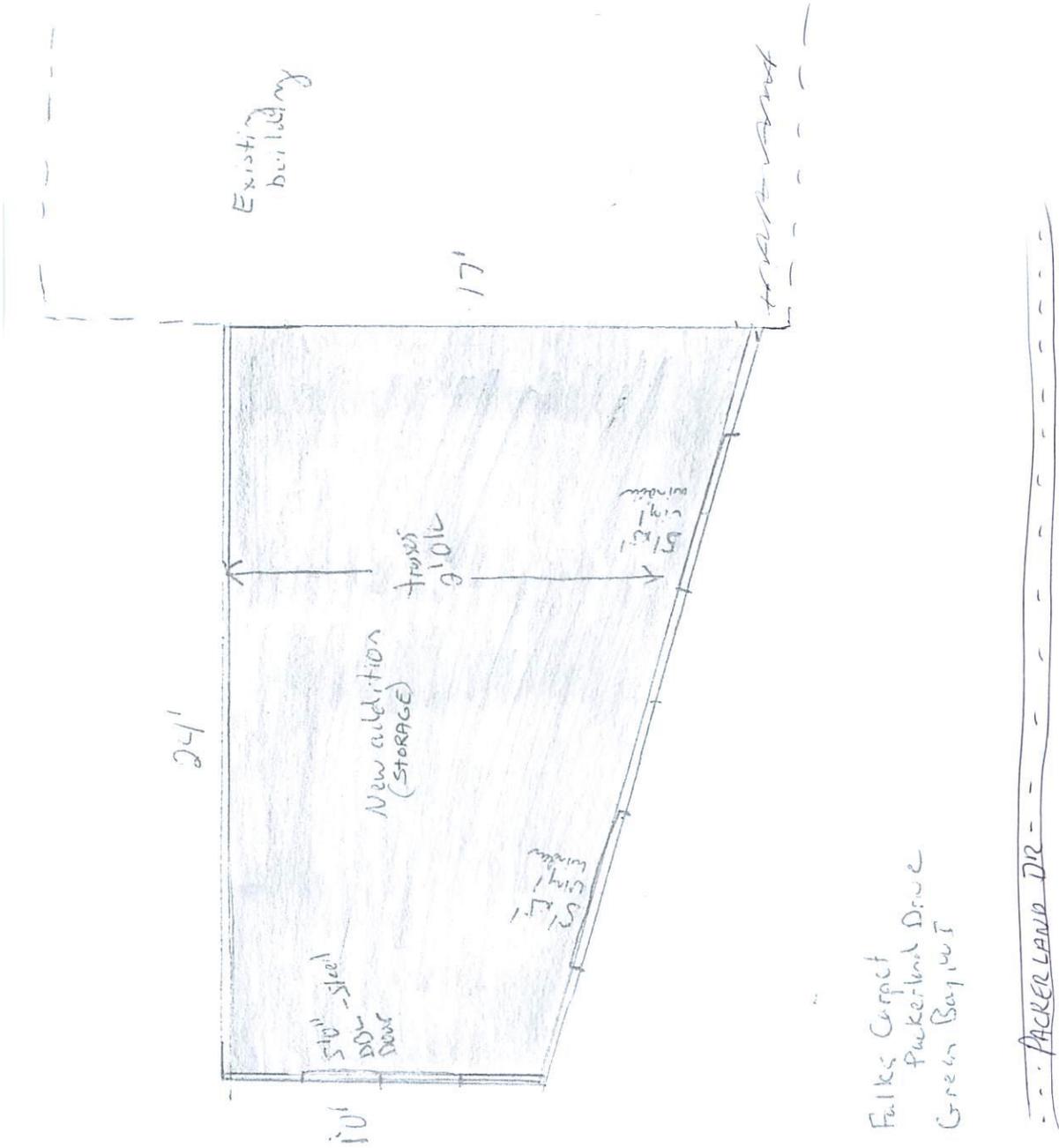
*[Signature]*

ENTER YOUR INITIALS IN THIS BOX TO VERIFY THAT YOU HAVE READ AND AGREE TO THE TERMS AND CONDITIONS DETAILED BELOW (REQUIRED FOR APPLICATION TO BE PROCESSED)

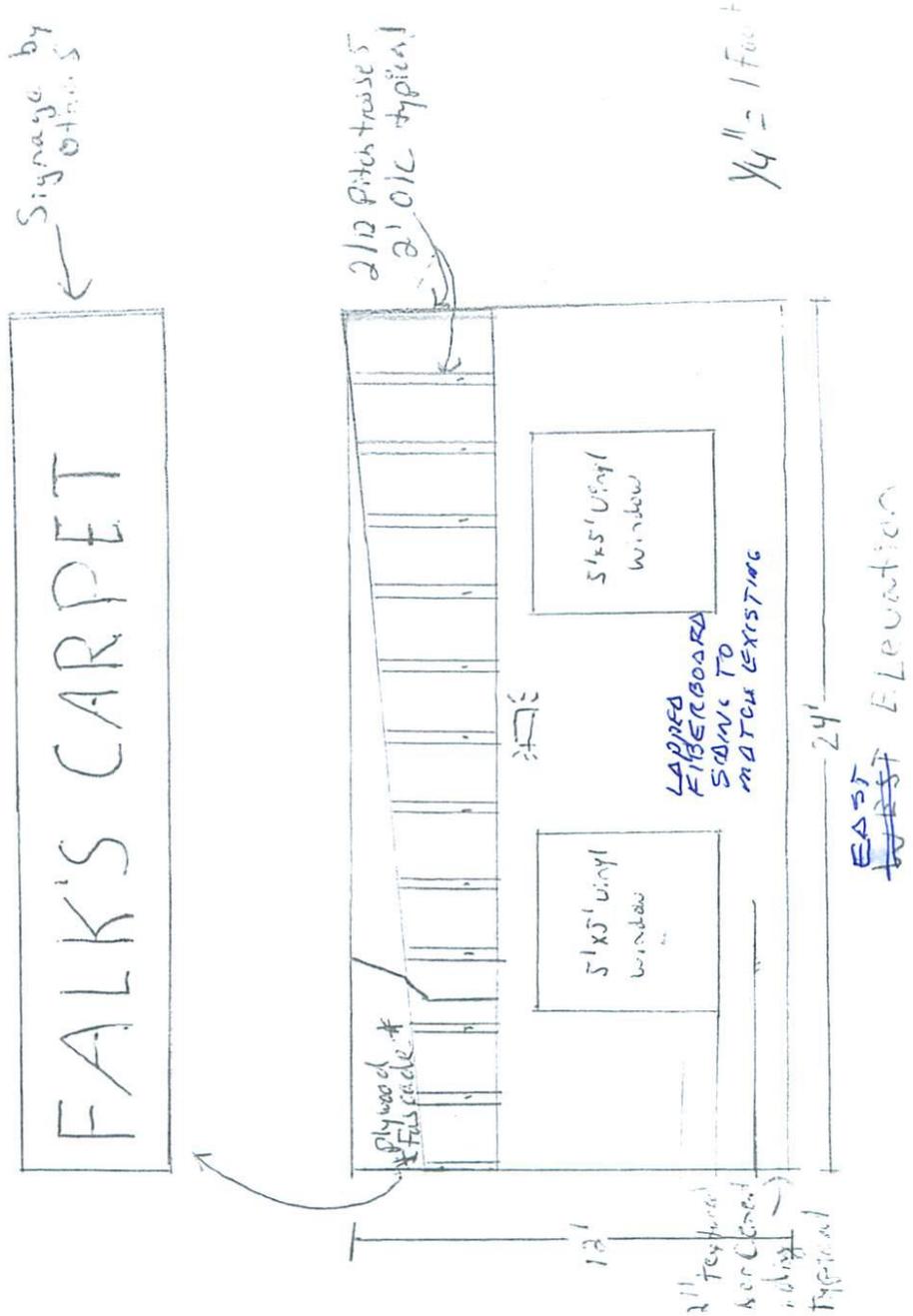
APPLICATION DATE

10-5-11

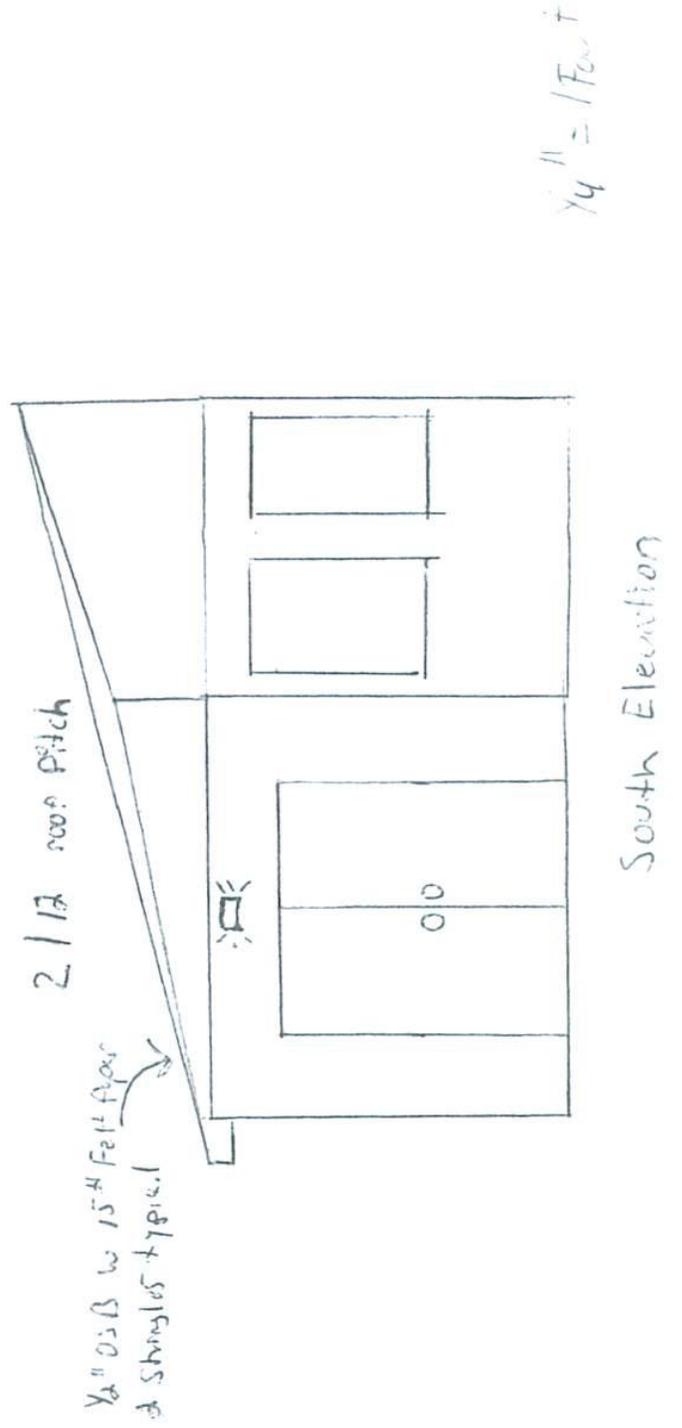
ATTACHMENT III



ATTACHMENT IV



ATTACHMENT V





**ATTACHMENT VII**

