



Meeting Date: 9/19/11
Agenda Item: 12

Mission Statement

Provide quality services in a modern, courteous and cost-efficient manner.

PLAN COMMISSION STAFF REPORT

REPORT TO: President Burt McIntyre & Village Plan Commission

REPORT FROM: James Korotev, Director of Code Administration

AGENDA ITEM: Review and take action on site plan for Big Apple Day Care for a new 24' x 24' storage garage at 2645 Tulip Lane, VH-747-A-16.
THE PLAN COMMISSION HAS FINAL REVIEW AUTHORITY FOR THIS MATTER

OWNER/APPLICANT: Stephanie Nies/Big Apple Preschool & Day Care

RECOMMENDED ACTION BY PLAN COMMISSION

Approve the applicant's plan with any conditions as may be necessary to improve aesthetics, preserve the integrity of the neighborhood, and address concerns of staff and Commission members.

BACKGROUND INFORMATION

The applicant is requesting approval to move an existing 8'x16' storage building approximately 65' west onto an adjacent lot and subsequently construct a new 24'x24' storage building in the location vacated by the smaller building at 2645 Tulip Lane, VH-747-A-16. In all business and industrial zoning districts the Zoning Ordinance requires that no building or any improvement shall be erected, placed, or altered on any building site until the plans for such building or improvement, including the site plan, landscape plan, building plan and specifications, have been reviewed and approved by the Plan Commission..

EXECUTIVE ANALYSIS

1. **Zoning:** The property is properly zoned (B-1) for the existing use.
2. **Setbacks:** Although setbacks have not been shown on the plan submitted, the location of the buildings will be reviewed prior to permits being issued and minimum setbacks will be enforced. The buildings will be required to be set back a minimum of 10 feet from side and rear property lines and 10 feet from other buildings.
3. **Parking:** With a maximum of 98 children and 21 employees in the building on the maximum shift (verified by Big Apple), the Zoning Ordinance requires 31 parking spaces for this use. The original 1985 plans showed 19 parking spaces. Today, only about 17 spaces are provided because some are marked for no-parking and others have obstructions preventing parking.

4. **Floodplain, Shoreland Zoning & Stormwater Management:** N/A
5. **Land Division:** N/A.
6. **Lighting:** Compliance with the lighting regulations required.
7. **Lot and Width Area:** The existing lot(s) comply with the minimum lot width and area regulations for the B-1 zone.
8. **Driveway Locations:** N/A.
9. **Signage:** N/A
10. **Garbage:** N/A
11. **Landscape:** N/A

CODE REQUIRED CONDITIONS

- (1) Permits are required to move the existing building and construct the proposed new building.
- (2) Both buildings shall be set back a minimum of 10 feet from side and rear property line and 10 feet from other buildings.
- (3) Section 50-508(1) of the Zoning Ordinance requires that *“exposed exterior walls shall be surfaced with brick, stone, textured concrete or an equivalent masonry material on all sides. A proportionate amount of decorative nonmasonry material, such as wood, steel, vinyl, etc., shall be permitted on the building exterior for ornamental or accent purposes only.”* The applicant has specified double 4” vinyl siding for the new 24’x24’ building.
- (4) A minimum of 31 parking spaces shall be provided and maintained unobstructed for the employees and visitors. To accomplish this, additional spaces could be constructed on adjacent property under common ownership. However, if additional spaces are constructed they will need to be constructed according to the codes in effect today (curb and gutter perimeter, 10% landscaped, stormwater plan, etc.). As an alternative, the owner may consider contracting with the owners of the property on the north side of Tulip Lane directly across from the preschool to use parking spaces in this lot. If this is done a written agreement between the two parties will need to be submitted to the Department of Code Administration.

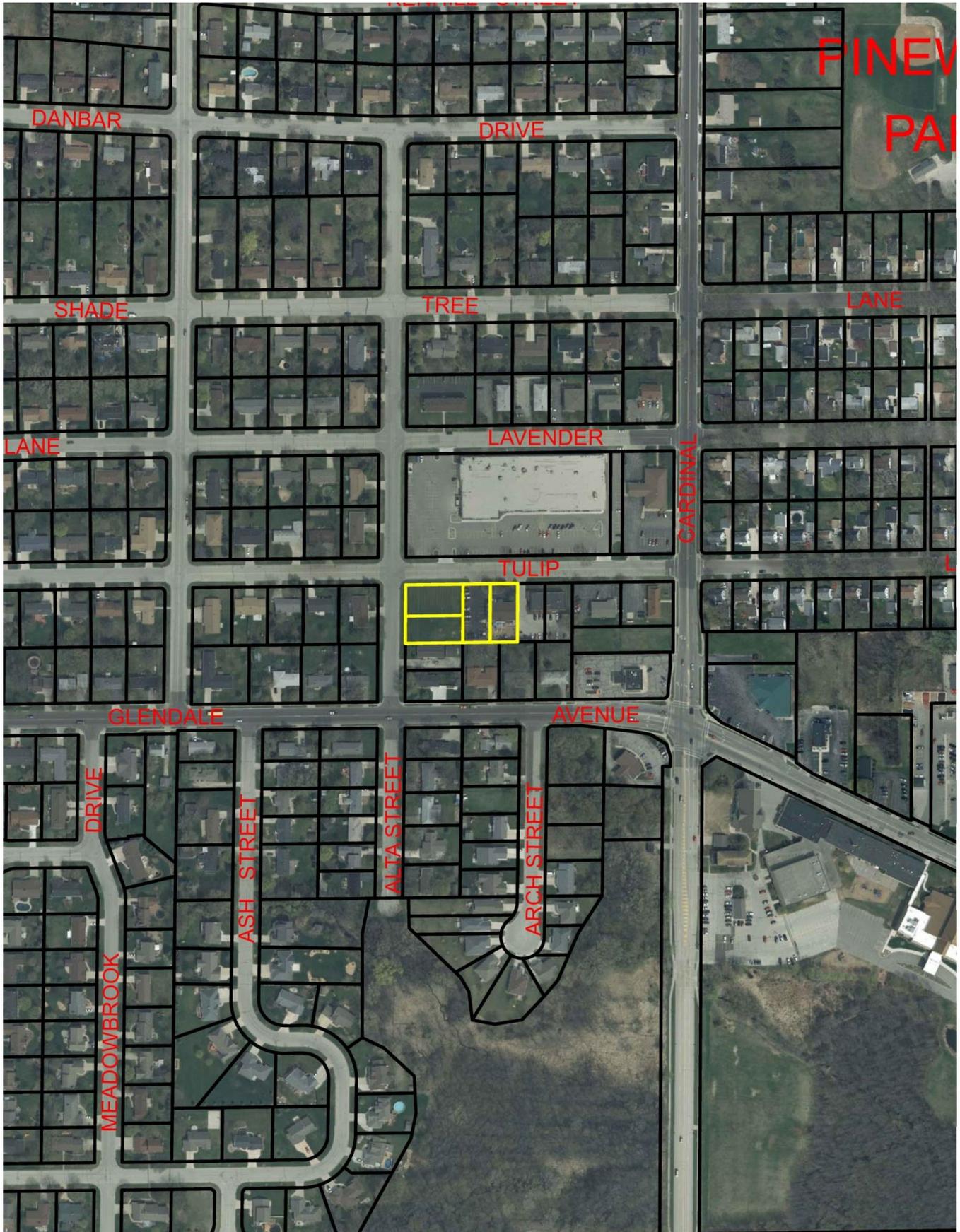
STAFF RECOMMENDED CONSIDERATIONS

- (1) Although trees and landscaping have been provided on the easternmost lot in front of the preschool, the other three lots in common ownership are nearly devoid of landscaping. The Plan Commission may wish to consider requiring additional modest landscaping on adjacent lots, especially around the two buildings in question. The Plan Commission could use the current B-1 landscaping regulations as a guideline (one shrub per 3000 square feet of lot area and one tree per 5000 square feet of lot area).

- (2) The B-1 zoning district requires that *“Landscape buffers (trees, hedges, plantings, berms or a combination thereof) shall be installed adjacent to and across from all residential areas.”* All properties directly south and west of the preschool are zoned residential. The Plan Commission should consider requiring landscape buffers between the two buildings and adjacent residential properties.
- (3) All properties directly south and west of the preschool are zoned residential. The parking regulations of the Zoning Ordinance require that *“All open, off-street parking areas containing more than three parking spaces shall be effectively screened on each side adjoining any institutional premises or any property situated in a residential zoning district by a solid wall or fence at least six feet in height.”* This regulation was in place when the original development took place in 1985. The required screening is not in place (see top photo, Attachment VIII)

ATTACHMENTS I-VIII

ATTACHMENT I (Property Location Aerial View)



ATTACHMENT II (Completed Plan Review Application Form)

DEPARTMENT OF CODE ADMINISTRATION
 2456 Glendale Avenue, Green Bay, WI 54313
 (Office) 920-434-4640 (FAX) 920-434-4643
 mailto:jkorotev@villageofhoward.com



**APPLICATION FOR
 PC PLAN APPROVAL**

IMPORTANT INFORMATION FOR APPLICANTS

(1) INCOMPLETE APPLICATIONS CANNOT BE ACCEPTED OR PROCESSED
 (2) YOU MAY USE YOUR COMPUTER KEYBOARD TO FILL OUT THIS APPLICATION FORM
 (3) PLEASE SUBMIT COMPLETED APPLICATIONS TO THE DEPARTMENT OF CODE ADMINISTRATION AT THE ABOVE ADDRESS

LOCATION	ADDRESS OF SUBJECT PROPERTY (Street Number and Name)	LOT #	SUBDIVISION	TAX PARCEL #
	2645 Tulip Lane	16	GLENDALE HEIGHTS SUBD.	VH-747-A-16
PROPERTY OWNER	PROPERTY OWNER'S FULL NAME	DAYTIME PHONE #		ALTERNATE PHONE #
	Stephanie Nies	920-434-9470		920-676-3534
APPLICANT/ AGENT	PROPERTY OWNER'S MAILING ADDRESS (include Zip Code)	PROPERTY OWNER'S E-MAIL ADDRESS		
	2645 Tulip Lane, Green Bay, WI 54313	Bigapple daycare@sbcglobe.net		
APPLICANT/ AGENT	APPLICANT/AGENT FULL NAME AND BUSINESS NAME	APPLICANT/AGENT PHONE #		ALTERNATE PHONE #
	Stephanie Nies / The Big Apple Preschool and Day Care Center	920-434-9470		920-676-3534
USE	APPLICANT/AGENT MAILING ADDRESS (include Zip Code)	APPLICANT/AGENT E-MAIL ADDRESS		
	2645 Tulip Lane, Green Bay, WI 54313	Bigapple daycare@sbcglobe.net		
USE	BRIEFLY DESCRIBE THE EXISTING AND PROPOSED USE OF THE PROPERTY			
	Storage, Garage Size Increase			
SUBMITTALS	WHERE APPLICABLE, THE FOLLOWING SUBMITTALS ARE REQUIRED TO ACCOMPANY THIS APPLICATION FOR THE APPLICATION TO BE ACCEPTED AND REVIEWED BY THE PLAN COMMISSION. REQUIRED SUBMITTALS MAY CONSIST OF PLANS, DRAWINGS, ANNOTATED PHOTOGRAPHS, OR OTHER DOCUMENTATION THAT SUFFICIENTLY PROVIDES ALL REQUIRED INFORMATION.			

- Exterior Building Design** (required for all new buildings, additions and exterior alterations to existing buildings)
- Exterior elevations of all proposed new and existing buildings showing wall materials and exterior construction details (including colors)
 - Height of all proposed new buildings and structures and all existing buildings and structures
 - Specific roof types (gable, hip, flat, etc.) and roof pitches of all proposed new and existing buildings
 - Roofing materials to be used on proposed new buildings and existing roofing materials on existing buildings (including colors)

- Site Features** (required for all projects)
- Location of all proposed new and existing buildings & structures, including dimensions to property lines and to each other
 - Locations of all streets, property lines, wells, septic systems, power lines, easements, etc.
 - All proposed new and existing off-street parking drive and loading areas (location, number, size, access, etc.)
 - The total accumulated horizontal impervious surface area after development (surfaces impervious to the penetration of storm water)
 - The total accumulated greenspace on the property (non-impervious), including the percentage of lot area (post development)

- Landscaping** (required for all projects where landscaping will be installed or altered or where required by the Plan Commission)
- Number, size, species and location of all existing and proposed trees
 - Number, size, species and location of all existing and proposed shrubs and ground plantings
 - Description and location of any existing or proposed buffering (fences, berms, hedges, plantings, etc.)

- Exterior Lighting Features** (required where exterior lighting fixtures will be installed or altered)
- Number, fixture type, location and wattage of all existing and proposed building lighting
 - Number, fixture type, location, wattage and height of all existing and proposed parking lot and exterior grounds lighting
 - Number, fixture type, location, wattage and height of all existing and proposed other exterior lighting
 - Photometric plan prepared by a professional lighting designer (when required by the Plan Commission)

- Signage Details** (required for all projects where signage exists or where new signage will be installed)
- Building elevations showing the location, number, size and message of all existing and proposed building signs and building lettering
 - A site plan showing the location of all existing and proposed free-standing signs, including the distance of such signs to property lines
 - Elevations of all existing and proposed free-standing signs showing the height, width, depth, material composition, colors, illumination, sign area and message of all such signs

SIGNATURE ENTER YOUR INITIALS IN THIS BOX TO VERIFY THAT YOU HAVE READ AND AGREE TO THE TERMS AND CONDITIONS DETAILED BELOW (REQUIRED FOR APPLICATION TO BE PROCESSED) APPLICATION DATE: 08/08/11

BY INITIATING THE BOX ABOVE, THE APPLICANT DOES HEREBY CERTIFY THAT: (1) ALL INFORMATION PROVIDED ON THIS APPLICATION IS TRUE AND CORRECT; (2) THE APPLICANT UNDERSTANDS THAT APPROVAL OF THIS REQUEST CREATES NO LEGAL LIABILITY, EXPRESSED OR IMPLIED, ON THE VILLAGE OF HOWARD OR ON ANY OF ITS EMPLOYEES. (3) THE APPLICANT WILL BE BOUNDED BY AND SUBMIT TO ALL STATUTES OF THE STATE OF WISCONSIN, CONFORM TO ALL APPLICABLE CODES AND ORDINANCES OF THE VILLAGE OF HOWARD, AND ABIDE BY ALL RULES AND REGULATIONS PRESCRIBED BY THE DEPARTMENT OF CODE ADMINISTRATION.

ATTACHMENT III (Letter of Description From DeLeers Construction)



September 13, 2011

Village of Howard
James Korotev
Director of Code Enforcement
2456 Glendale Avenue
Green Bay, WI 54313

Jim,

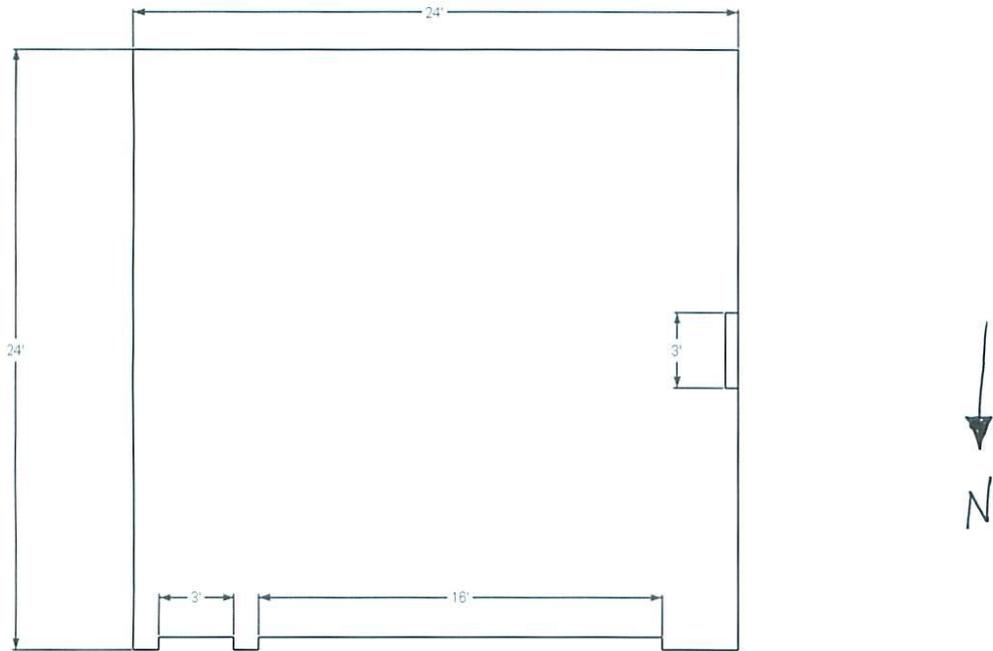
Here is the information that you requested for the garage at the Big Apple Preschool and Daycare. I have attached drawings for you to review as well. Please let me know if you have any questions or if I need to provide any further information. Thank you Jim.

- 24' x 24' reinforced concrete slab with thickened edges
- 24' X 24' 2 x 4 studs, 16" on center – Peak height = 12' 6"
- White aluminum soffit and fascia
- Tan double 4" vinyl siding
- Tan dimensional shingles 25 yr
- White 16' x 7' overhead door
- White 36" x 80" 6 panel steel service door
- One (1) white clad 24"h x 36"w slider window
- 24' overhangs on eaves and 12" overhang on gable ends

Kelly Roseneck
Business Development Associate
DeLeers Construction
920.347.5856

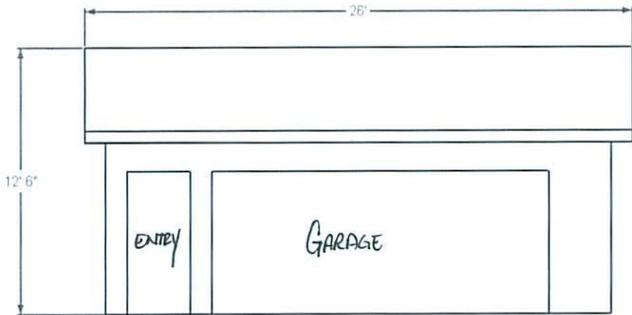
ATTACHMENT IV (Basic Floor Plan of Proposed 24'x24' Building)

Big Apple Preschool

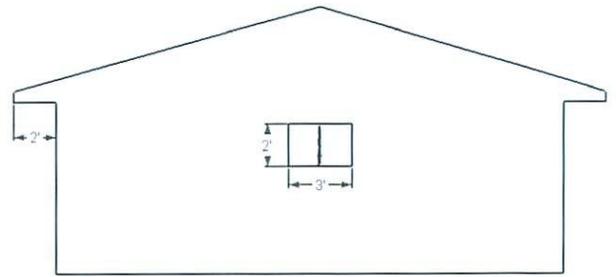


ATTACHMENT V (Basic Elevations of Proposed 24'x24' Building)

Big Apple Preschool



FRONT ELEVATION

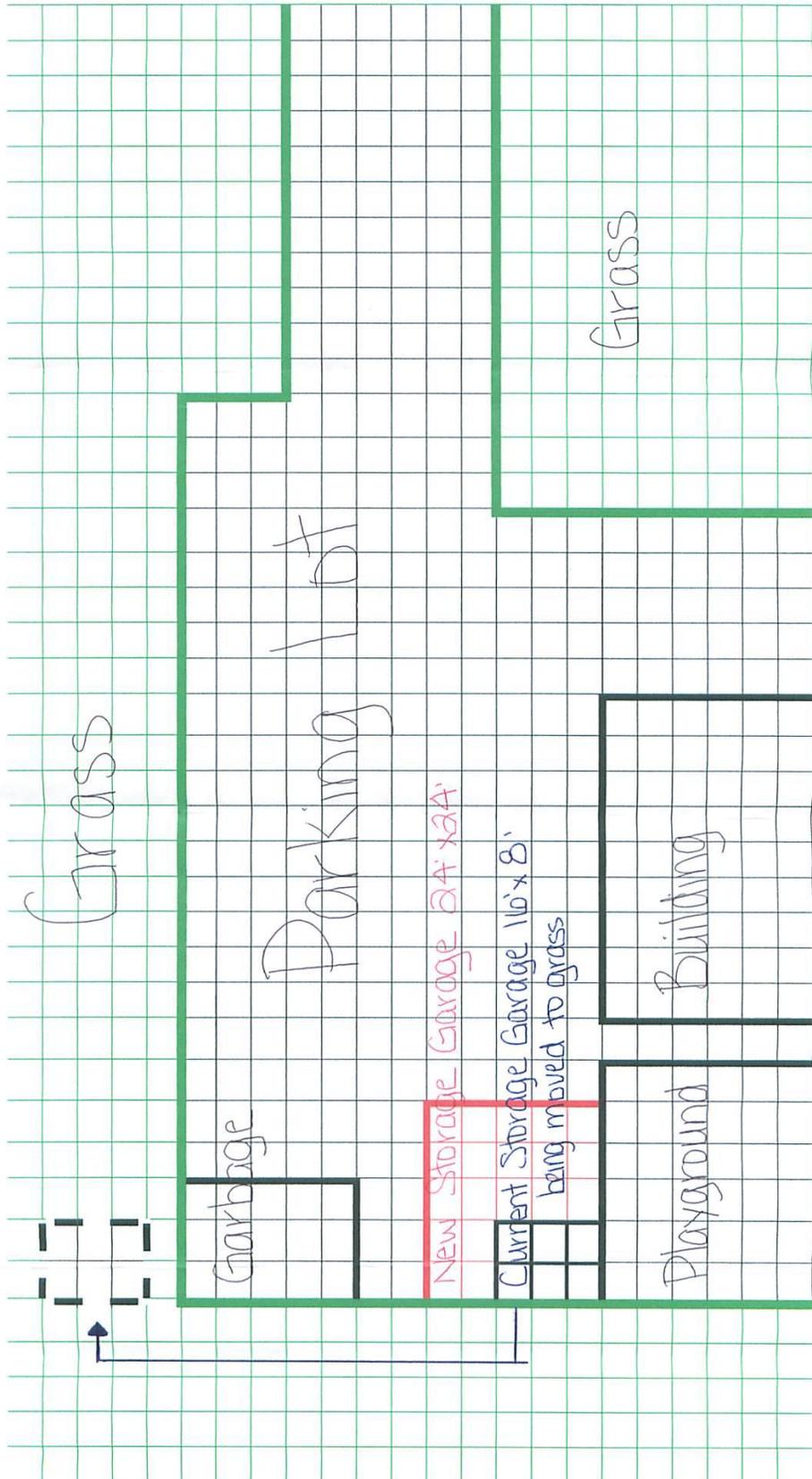


SIDE ELEVATION

ATTACHMENT VI (Aerial View Showing Proposed Building Placement)



ATTACHMENT VII (Site Plan Submitted by Applicant)



ATTACHMENT VIII (Miscellaneous Photos of Property)

