



Meeting Date: June 18, 2012
Agenda Item: # 7

Mission Statement
Delivering quality services in a courteous,
cost-effective and efficient manner

VILLAGE PLAN COMMISSION STAFF REPORT

REPORT TO: President Burt McIntyre and Village Plan Commission

REPORT FROM: Dave Wiese, Director of Community Development

AGENDA ITEM: **Tabled action on a request for preliminary planned development approval from Brad Rymer of Mau & Associates representing Garot Land Development to accommodate a mix of business/commercial, medium-density residential and single-family usage at 4001 Shawano Avenue, VH-61.**

ACTION REQUESTED: Approval of the proposed Preliminary PDD.

THIS ITEM WAS TABLED IN DECEMBER IN ORDER FOR THE APPLICANT TO ADDRESS DESIGN CONCERNS. THE APPLICANT HAS MODIFIED THE ORIGINAL PLAN IN AN ATTEMPT TO ADDRESS THE CONCERNS OF THE PLAN COMMISSION.

POLICY ISSUE

Should the Village Plan Commission approve the Preliminary PDD thereby moving the process forward to allow for a commercial site, single-family lots, and (8) four-unit condominium buildings?

RECOMMENDED ACTION BY PLAN COMMISSION

It is recommended that the Plan Commission ask the applicant to explain his request in detail. Subsequently, the Plan Commission could invite comments from the public. The Plan Commission should review the applicant's request, including how Preliminary Planned Development District Standards will be met. Finally, if satisfied with the proposal, the Plan Commission should recommend approval to the Village Board with any specific conditions as may be necessary to address concerns voiced by the public, staff or Commission members.

THIS WILL BE A RECOMMENDATION TO THE VILLAGE BOARD FOR PRELIMINARY APPROVAL.

POLICY ALTERNATIVE(S)

The Plan Commission could take the following action:

- Approve the request without conditions.
- Approve the request with conditions.
- Deny the request
- Table the request until a later meeting date

BACKGROUND

Landmark Real Estate is requesting PDD approval for a mixed-use development on the 16 acres located at the southwest corner of Greenfield Avenue and Shawano Avenue. The first phase of development would be for 8 four-unit condominium buildings. Water is located in front of the property and sewer would need to be extended from the corner of Greenfield and Shawano. Future

phases would include single-family homes and commercial. The site is bisected by a high tension power line that runs east and west. The units are 1,200 square feet in size. The applicant has indicated the price range will be from \$129,900 to \$149,900 per unit. Each unit will have a double stall garage and will be built on slabs. Basements are not being planned.

BASIC INFORMATION

Project Name	Greenfield PDD
Applicant	Keith Garot
Phone	920-337-9566
Consultant/ Engineer	Brad Rymer Mau & Associates (920) 434-9670
Parcel Size	14 acres
Existing Zoning	R-5 Rural Estate Residential
Proposed Zoning	PDD
Land Map Designation	Mixed Use

ADJACENT LAND /ZONING MATRIX

Land Use		
North	Tavern, Ball field	B-2
South	Agriculture	A-1
East	Rural Single Family Res.	R-5
West	Agriculture, Rural Res.	A-1

1. **Zoning** The property is presently zoned Rural Estate Residential (R-5) and the proposed use would require a PDD.
2. **Setbacks** The applicant is proposing multiple units on the 16 acre parcel.
3. **Parking** The proposed use does not generate a need for additional parking on the property.
4. **Floodplain, Shoreland Zoning & Stormwater Management** N/A
5. **Land Division** A Certified Survey Map would need to be approved and recorded showing the proposed uses on separate lots. A proposed CSM is included in the application.
6. **Lighting** Standard home lighting is being proposed.
7. **Fire Protection** This property is currently served by the municipal water system and is located approximately .5 miles from the nearest fire station.

Plan Commission Considerations

1. Minimum square footage requirements for the units (1,200 square feet.)
2. Variation of colors, materials, or façade.
3. Curb and gutter through the entire or portions of the parking and drive areas.
4. Basements for the structures
5. Landscape plan that includes focal features for properties (common area, gardens, decorative landscape islands, etc.)
6. Decorative garage doors for all doors as depicted in the submittal.
7. Easement dedicated to the Village for future sidewalk and future trail.
8. Stormwater management plan approved by the Engineering Department.

ATTACHMENTS

- I New PDD Application
- II Original PDD Application

COPY EMAILED TO: Randy Oettinger roettinger@mau-associates.com



2456 Glendale Ave
Green Bay, WI 54313

PDD APPLICATION

See Next Page
for Materials to be Submitted
with This Application

Application Fee: \$200.00

Date: _____

Initials: _____

Application #: _____

Applicant

Name Landmark Real Estate and Development _____

Address: 320 Main Street, Ste 300 DePere, WI 54115 _____

Phone:(920) - 337-9566 - _____

Email: _____

Business Name: _____

PDD Site Address: Shawano Avenue _____

Landowner of Record: Garot Land Development, LLC _____

Address: _____

Phone:() - - _____ Email: _____

Consultant(s)

SURVEYOR

Name: Randall Oettinger / Mau & Associates LLP _____

Address: 400 Security Blvd Green Bay, WI 54313 _____

Phone:(920)434-9670 _____ Email: roettinger@mau-associates.com

Contractor/Engineer

Name: _____

Address: _____

Phone:() - - _____ Email: _____

Parcel/Building Information

Lot Size: 4.5 ___ Acres/Sq. Ft _____ Current Zoning: ___ R-2 ___ Requested

Zoning: ___ Multi-Family ___

Lot Dimensions: ___ 400' x 600' (approx) _____ Does Current Zoning Permit

Intended Use: ___ No ___

Bldg. Sq. Footage: ___ 7282 per building _____ Street

Frontage: ___ 695' _____

Describe Specifically the Nature of the Request: We request project approval to move forward with final plans, rezoning and land division.

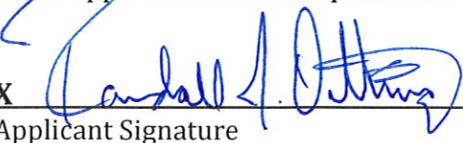
REQUIRED (Check the Box to Signify Your Submittal of Listed Items)

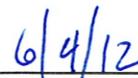
- Statement describing the general character of the proposed development.
- A plat of survey or the equivalent thereof depicting the location, dimensions, boundaries, uses and size of the site.
- Legal description of the proposed development site.
- A site plan including the following:
 - Density and floor area ratio
 - Building heights and setbacks
 - Size & location of lots
 - Screening and fencing
 - Location of sanitary and storm sewer lines
 - Location of water mains
 - Site drainage
 - Location of roads, driveways and walks
 - Existing and proposed structures, parking, loading areas, ingress/egress points
 - Location of recreational and open space areas reserved or dedicated for public uses
 - Percentage of green space & impervious surface
- An accurate topographical map showing elevation and contour data at two (2) foot intervals and extending one hundred (100) feet beyond exterior boundaries of site and also the following
 - Topographical map showing all public right-of-ways & existing buildings within the project area.
 - Size and capacities of all available utilities and high water elevations along rivers and bodies of water.
- Easements to the Village for common open space areas, roadways and other right-of-ways not dedicated to the public.
- Landscape plan including table depicting quantity, size and name of species.
- Lighting plan showing photometrics and a spec sheet of all fixtures used.
- Sign plan with dimensions of sign.
- An attachment stating the methods and hours of operation (if applicable).
- Full-color rendering of building facades and large samples of colors and building materials to be used on the project.
- Table showing square footage of proposed buildings along with proportions of buildings devoted to office, production, manufacturing, warehousing, etc. and proposed number of employees in each area.
- Evidence showing proposed project is economically feasible.
- Table showing the approximate costs of individual buildings and dates of construction.
- Copies of deed restrictions, sureties, performance bonds, conditions, provisions, requirements and/or limitations to ensure public safety, health and welfare.
- Ownership and tax liability of private open space reservations and right-of-ways.
- Implementation schedule with proposed commencement and completion dates.

Please refer to Section 17.18 of the *Howard Municipal Code of Ordinances* for additional information on Planned Development District requirements.

Submit 10 color copies of all documents. If possible, provide electronic copies (pdf, word, excel, etc) of plans.

With this signature, I certify all required materials above have been submitted. Furthermore, I understand any required materials not submitted will result in an incomplete application. Incomplete applications will be returned to the applicant until all required materials are submitted.

X 
Applicant Signature


Date

Please direct all questions to Dave Wiese at 434-4640 or dweise@villageofhoward.com

MAU & ASSOCIATES-LLP
LAND SURVEYING & PLANNING
CIVIL & WATER RESOURCE ENGINEERING

400 SECURITY BOULEVARD ♦ GREEN BAY, WI 54313 ♦ PHONE (920) 434 - 9670 ♦ FAX (920) 434 - 9672

Date: 6/4/12

Village of Howard Planning Department
2456 Glendale Avenue
Green Bay, WI 54313

Re: Site Plan review for part of Parcel VH-61.

Dear Planning Members:

We are proposing a Planned Unit Development for the Garot Land Development, LLC property located at Shawano Avenue. The property is situated in the Southeast corner of the intersection of Shawano Avenue and Greenfield Avenue. The proposed parcel is approximately 4.5 acres and is currently zoned R-5 (Rural Estate). We are requesting a low density condominium development that will include four 8-unit buildings.

The proposed parcel will be located approximately 300 feet Southeast of the intersection of Shawano Avenue and Greenfield Avenue. There is existing water main along the North side of Shawano Avenue, extending the entire frontage of the proposed parcel. There is also existing sanitary sewer in the Northwest of Shawano Avenue and Greenfield Avenue, approximately 400 feet from the proposed parcel.

The proposed development will be made up of (4) 8 unit buildings with sufficient parking and green space to create an appealing setting. The calculations are further broken down on the attached site plan.

The property currently has an assessed value of \$2,600 and pays approximately \$44 in property taxes each year. The completed project will be upward of \$1,800,000 assessed value, creating approximately \$30,000 in taxes. Anticipated price range for the units will be \$115,000 to \$125,000.

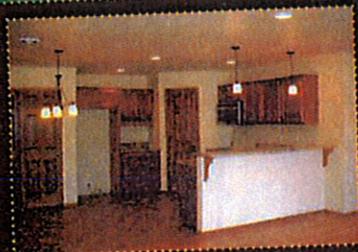
Please accept this information as a submittal for the next planning meeting. Please call with any questions or comments.

Randall J. Oettinger



Mau & Associates

**New
Construction**



Starting at \$125,000

- 2 Bedroom/ 2 Full Bathrooms 1300 sq. ft.
- Attached Garage • Gas Fireplace
- Washer/ Dryer Hook-Ups in Each Unit
- 9 ft. Ceilings in Lowers/ Vaulted in Uppers
- Patios/ Decks • Low Condo Fees
- Custom Maple Cabinets, 6 Panel Doors

Stony Ridge Condominiums

SISTER BAY, WI



www.landmarkneighborhoods.com

www.MyCoachHome.com

Broker/Owner - Keith Garot - 920.621.4929



Located on the corner of Cherrywood and
Koessler Lane, behind the Piggly Wiggly

Sister Bay
the traditio
service as s
J.P. Kelnho

Original
Submittal



2456 Glendale Ave
Green Bay, WI 54313

PDD APPLICATION

See Next Page
for Materials to be Submitted
with This Application

Application Fee: \$200.00
Date: _____
Initials: _____
Application #: _____

Applicant

Name: Keith Garot
Address: 320 MAIN AVE DePERE WI 54115
Phone: (920)-337-9566 Email: KEITHGAROT@XNEW.PR.COM

Business Name: LANDMARK REAL ESTATE & DEVELOPMENT
PDD Site Address: 4001 SHAWANO AVENUE
Landowner of Record: GAROT LAND DEVELOPMENT LLC
Address: 320 MAIN AVE DePERE WI 54115
Phone: (920)-337-9566 Email: KeithGarot@New.Pr.Com

Consultant(s)

Architect

Name: _____
Address: _____
Phone: () - - - - - Email: _____

Contractor/Engineer/SURVEYOR

Name: BRAD RYMER - MAW & ASSOCIATES
Address: 400 SECURITY BLVD GREEN BAY WI 54313
Phone: (920)-434-9670 Email: braymer@maw-associates.com

Parcel/Building Information

Lot Size: 13 Acres/Sq-Ft Current Zoning: R-5 Parcel #: VH - 61
Lot Dimensions: 1000 x 1000 ± Does Current Zoning Permit Intended Use: NO
Bldg. Sq. Footage: _____ Street Frontage: 2000 ±

Describe Specifically the Nature of the Request:

Rezone to PDD - see attached packet

REQUIRED

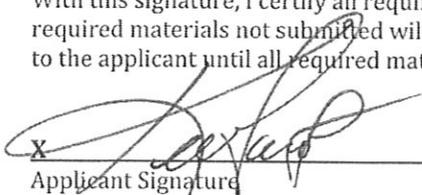
(Check the Box to Signify Your Submittal of Listed Items)

- Statement describing the general character of the proposed development.
- A plat of survey or the equivalent thereof depicting the location, dimensions, boundaries, uses and size of the site.
- Legal description of the proposed development site.
- A site plan including the following:
 - Density and floor area ratio
 - Building heights and setbacks
 - Size & location of lots
 - Screening and fencing
 - Location of sanitary and storm sewer lines
 - Location of water mains
 - Site drainage
 - Location of roads, driveways and walks
 - Existing and proposed structures, parking, loading areas, ingress/egress points
 - Location of recreational and open space areas reserved or dedicated for public uses
 - Percentage of green space & impervious surface
- An accurate topographical map showing elevation and contour data at two (2) foot intervals and extending one hundred (100) feet beyond exterior boundaries of site and also the following
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- Implementation schedule with proposed commencement and completion dates.

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Submit 10 color copies of all documents. If possible, provide electronic copies (pdf, word, excel, etc) of plans.

With this signature, I certify all required materials above have been submitted. Furthermore, I understand any required materials not submitted will result in an incomplete application. Incomplete applications will be returned to the applicant until all required materials are submitted.


Applicant Signature

10-6-11
Date

Please direct all questions to Dave Wiese at 434-4640 or dwiese@villageofhoward.com

MAU & ASSOCIATES-LLP

LAND SURVEYING & PLANNING

CIVIL & WATER RESOURCE ENGINEERING

400 SECURITY BOULEVARD ♦ GREEN BAY, WI 54313 ♦ PHONE (920) 434-9670 ♦ FAX (920) 434-9672

Date: 10/27/11

Village of Howard Planning Department
2456 Glendale Avenue
Green Bay, WI 54313

Re: Application for Change of Zoning and Land Division by Certified Survey Map for Parcel VH-61.

Dear Planning and Board Members:

We are proposing to develop the Garot Land Development, LLC property located at 4001 Shawano Avenue. The property is situated in the Southeast corner of the intersection of Shawano Avenue and Greenfield Avenue. The property is approximately 13.0 acres and is currently zoned R-5 (Rural Estate). We are requesting a rezone of the property to Planned District Development to accommodate a mix of Business/ Commercial, Medium Density Residential and Single Family Residential usage.

- The Business/Commercial site will be located at the intersection of Shawano Avenue and Greenfield Drive and will be approximately 3.18 acres.
- The Medium Density Residential will comprise the majority of the site at approximately 8.97 acres. This portion will be made up of (12) 4 unit buildings with sufficient parking and green space to create a park-like setting. The calculations are further broken down on the attached site plan.
- The Single Family Residential portion will be approximately 0.85 acres (two future lots).

Please accept this information as a submittal for the next planning meeting. Please call with any questions or comments.

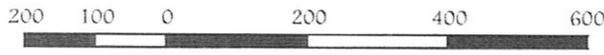
Brad Rymer



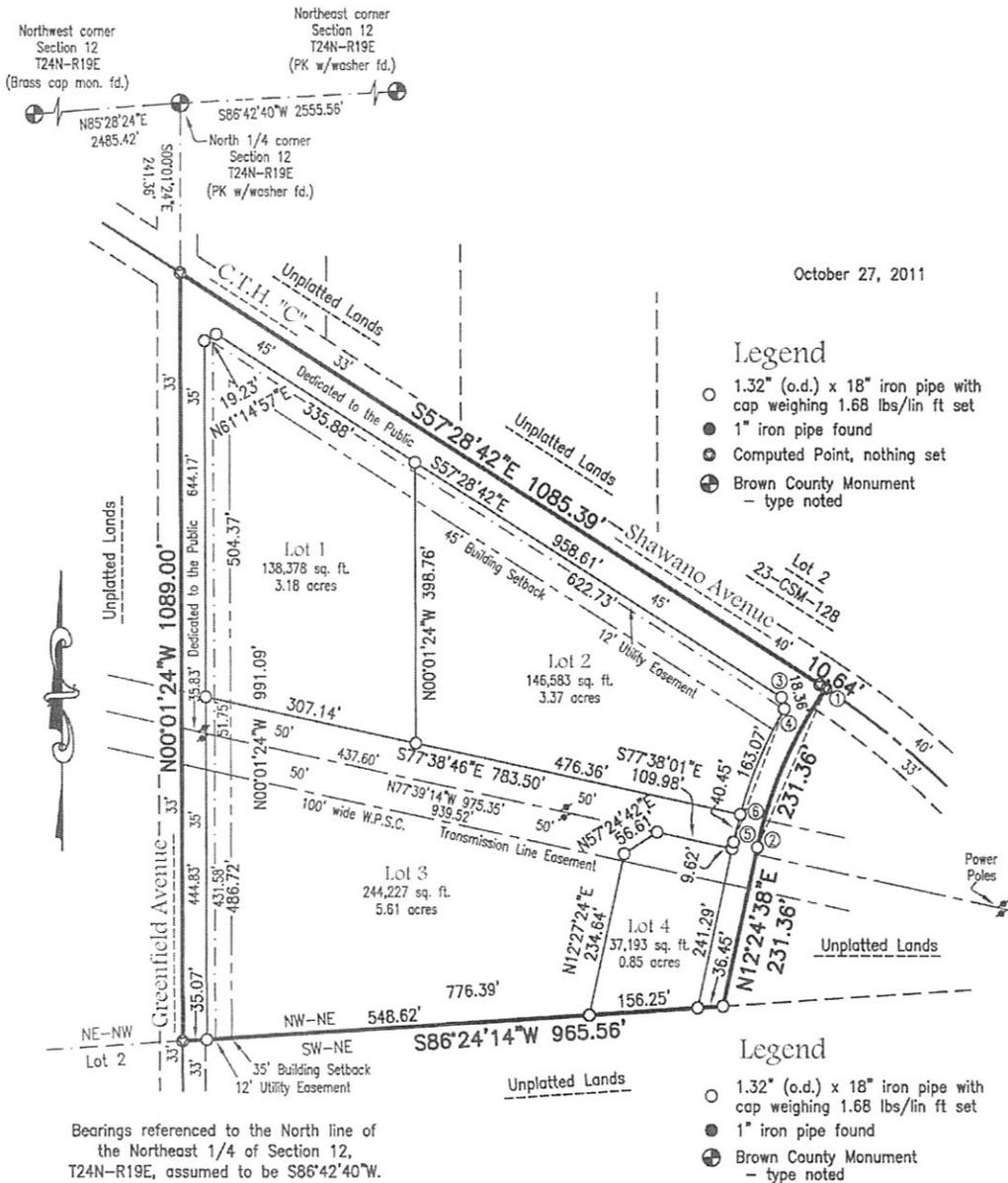
Mau & Associates

~Proposed~ Certified Survey Map

Part of the Northwest 1/4 of the Northeast 1/4 of Section 12, T24N-R19E,
in the Village of Howard, Brown County, Wisconsin



Graphic Scale



Client: Landmark Realty
Drafted By: RJO
File: L-15708 CSM 110808.dwg

Scale: 1" = 200'
Tax Parcel Number VII-61

Mau & Associates

LAND SURVEYING & PLANNING
CIVIL & WATER RESOURCE ENGINEERING
Phone: 920-434-9670 Fax: 920-434-9672

Sheet One of One
Project No.: L-15708
Drawing No.: L-7406

Site Plan

- Shawano Avenue -

Part of the Northwest 1/4 of the Northeast 1/4, Section 12, T24N-R19E, in the Village of Howard, Brown County, Wisconsin.



Project Calculations

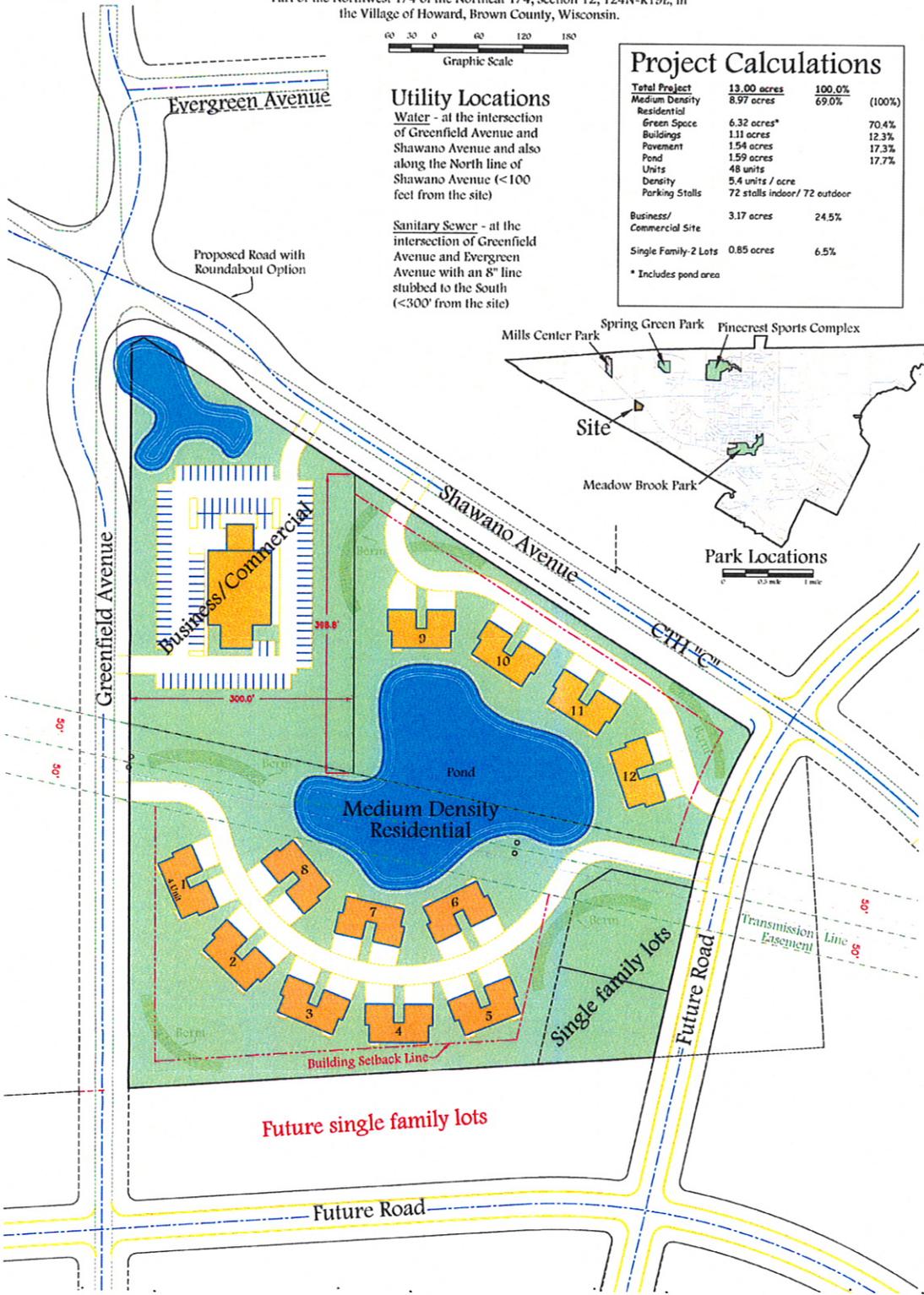
	Total Project	13.00 acres	100.0%
Medium Density Residential	8.97 acres	69.0%	(100%)
Residential			
Green Space	6.32 acres*	70.4%	
Buildings	1.11 acres	12.3%	
Pavement	1.54 acres	17.3%	
Pond	1.59 acres	17.7%	
Units	48 units		
Density	5.4 units / acre		
Parking Stalls	72 stalls indoor / 72 outdoor		
Business/Commercial Site	3.17 acres	24.5%	
Single Family-2 Lots	0.85 acres	6.5%	

* Includes pond area

Utility Locations

Water - at the intersection of Greenfield Avenue and Shawano Avenue and also along the North line of Shawano Avenue (<100 feet from the site)

Sanitary Sewer - at the intersection of Greenfield Avenue and Evergreen Avenue with an 8" line stubbed to the South (<300' from the site)



PROJECT NO.
L-15708

SHEET NO.
1 of 4

DRAWING NO.
S-2041

SCALE: 1" = 60'

FILE PART 11 NO. 13142

FILED BY (R)

L-15708PDD 101711.dwg

Site Plan
Landmark Realty

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UTILITY EXISTENCE
The underground utility lines have been located from field surveys, historical records and existing utility drawings. The accuracy of the utility lines shown on this site plan is not guaranteed. The user of this site plan is advised that they are not to be used as a basis for any construction or other activity without the approval of Mau & Associates, Inc. The user is responsible for verifying the utility lines shown on this site plan before any construction or other activity is undertaken. Mau & Associates, Inc. is not responsible for any damage or loss resulting from the use of this site plan for any purpose other than that intended by Mau & Associates, Inc.

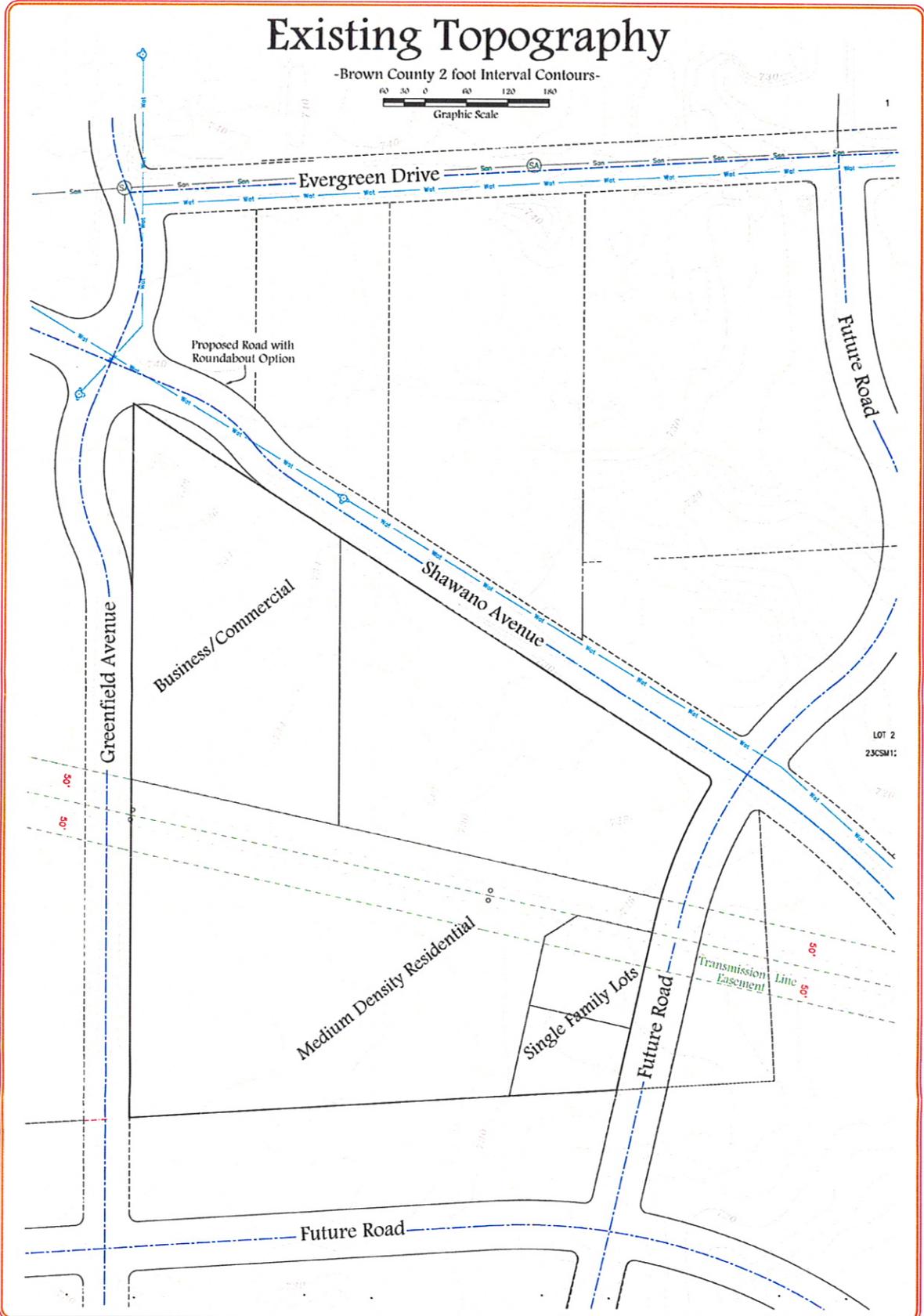
Mau & Associates

LAND SURVEYING & PLANNING
CIVIL & WATER RESOURCE ENGINEERING

400 Security Boulevard • Green Bay, Wisconsin 54313
Phone: 920-434-9670 Fax: 920-434-9672

Existing Topography

-Brown County 2 foot Interval Contours-



SCALE: 1" = 60'
 111 1/2" x 111 1/2" (A) 111 1/2" x 111 1/2" (A)
 L-15708PDD 101711.dwg

Existing Topography
 Landmark Realty

STATE OF THIS EXAMINATION
 All data including computerized data received by Mau & Associates, Inc. is the responsibility of the client and the user. Mau & Associates, Inc. is not responsible for any errors or omissions in the original data or for any changes made to the original data. Mau & Associates, Inc. is not responsible for any errors or omissions in the original data or for any changes made to the original data.

UTILITY STATEMENT
 The underground utilities shown have been located from field notes, information and drawings on file. The accuracy of the location and depth of the utilities shown is not guaranteed. The user should verify the location and depth of the utilities shown before any excavation or construction work is undertaken. Mau & Associates, Inc. is not responsible for any errors or omissions in the original data or for any changes made to the original data.

Mau & Associates 
 LAND SURVEYING & PLANNING
 CIVIL & WATER RESOURCE ENGINEERING
 400 Security Boulevard • Green Bay, Wisconsin 54311
 Phone: 920-434-9670 Fax: 920-434-9672



Area Development Plan

Graphic Scale

- Light Density Residential
- Medium Density Residential
- Single-Family Residential
- Professional/Service

DRAWING NO. S-2041 3 of 4 PROJECT NO.	SCALE: 1" =
	REFERENCE NO. 101711.dwg SHEET NO. 3 of 4 PROJECT NO. L-15708PDD 101711.dwg

Area Development Plan
 Landmark Realty

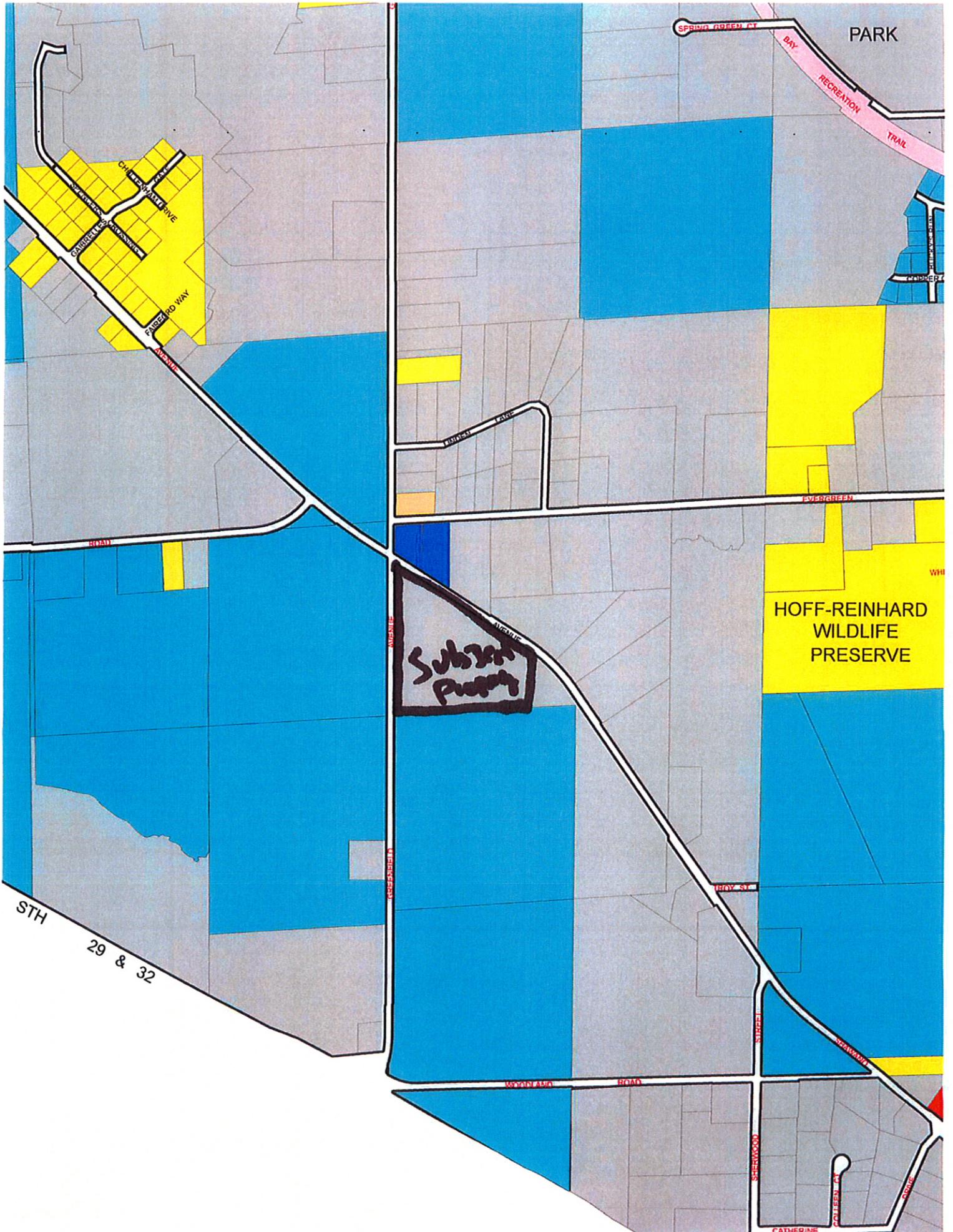
NOTICE OF THIS DOCUMENT
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UTILITY STATEMENT
 The utility locations shown have been located from field observations and existing as-built drawings. The accuracy of the utility locations is not guaranteed. The utility locations shown are for informational purposes only and are not to be used for construction. Mau & Associates is not responsible for any errors or omissions in this document. Mau & Associates is not responsible for any errors or omissions in this document. Mau & Associates is not responsible for any errors or omissions in this document.

Mau & Associates

LAND SURVEYING & PLANNING
 CIVIL & WATER RESOURCE ENGINEERING
 400 Security Boulevard • Green Bay, Wisconsin 54313
 Phone: 920-434-9070 Fax: 920-434-9072





PARK
RECREATION TRAIL

HOFF-REINHARD WILDLIFE PRESERVE

Sub 300 Property

STH 29 & 32

SPRING GREEN CT
BAY
RECREATION TRAIL
WYOMING ROAD
CATHY ST
SHERWOOD
CATHERINE
CATHY ST
WYOMING ROAD
SHERWOOD
CATHERINE

CHERRY PARK
CANTON ST
PAPER RD WAY
ROAD

Greenfield Avenue

Total Project	4.51 acres	100.0%
Green Space	2.53 acres	56.1%
Buildings	0.69 acres	15.3%
Pavement	0.81 acres	18.0%
Sidewalks/Trail	0.25 acres	5.5%
Pond	0.23 acres	5.1%
Units	32 units	
Density	7.8 units / acre	
Parking Stalls	64 stalls	
	2 stalls / unit	

Road Dedication 0.35 acres
209± feet of centerline

Utilities:

*Water - along North side of Shawano Avenue (<100 feet from site)

*Sanitary Sewer - at the intersection of Greenfield and Shawano Avenue (approximately 400' Northwest of site)



Park Locations



Site Plan

-Five Pointes Condominiums-
Part of the Northwest 1/4 of the Northeast 1/4 of Section 12, T24N-R19E,
Village of Howard, Brown County, Wisconsin



Owner/Developer:
Landmark Real Estate and Development
320 Main Ave., Suite 300, De Pere, WI 54115

VH-60-2
Lot 2
23-CSM-128

Part of
VH-60-1
Unplatted
Lands

Mau & Associates
LAND SURVEYING & PLANNING
CIVIL & WATER RESOURCE ENGINEERING
400 Security Boulevard • Green Bay, Wisconsin 54313
Phone: 920-434-9670 Fax: 920-434-9672

UTILITY STATEMENT
The underground utilities shown have been located from field survey information and existing utility drawings. The surveyor is not responsible for the accuracy of the utility information shown in the exact location indicated although he does verify that they are located as accurately as possible from the information furnished. Except as shown herein, there are no visible underground utilities. Except as shown herein, there are no visible easements, encroachments or other interests in the property or right-of-way shown. Right-of-way of which the surveyor has been advised. (DISBURS HOTLINE: 1-800-251-8111)

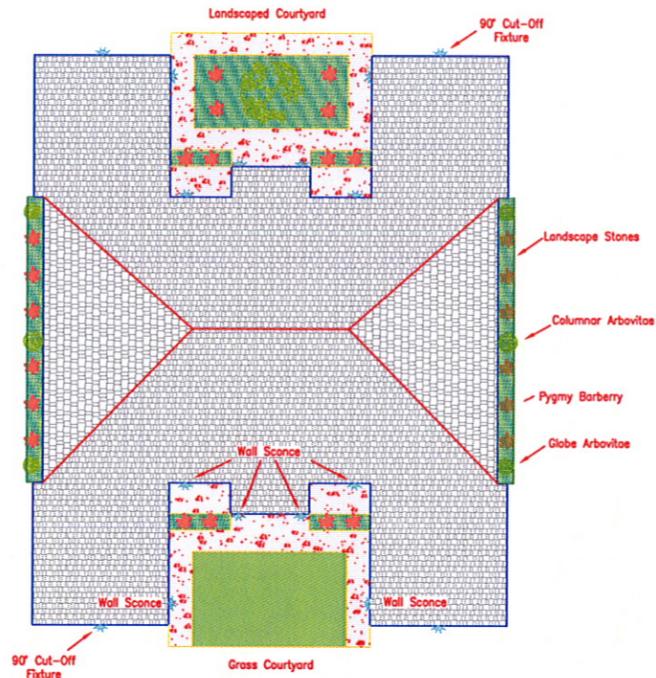
BEFORE OF THIS DOCUMENT
All rights including copyright are reserved by Mau & Associates. The client warrants that the information furnished to Mau & Associates is true and correct. Mau & Associates warrants that the drawing or plan was prepared by Mau & Associates. (DISBURS HOTLINE: 1-800-251-8111)

Site Plan
Landmark Real Estate and Development

SCALE: 1" = 40'
DRAWN BY: JDO
PARCEL NO: 11660
File: L-15708/Layout 050712.dwg

PROJECT NO.
L-15708
SHEET NO.
1 of 4
DRAWING NO.
S-2094

Courtyard/Lighting Detail



Grass Courtyard



Landscaped Courtyard



Garage Light



Entrance Light

Landscape Plan

-Five Pointes Condominiums-
Part of the Northwest 1/4 of the Northeast 1/4 of Section 12, T24N-R19E,
Village of Howard, Brown County, Wisconsin



Legend

- Norway Maple- 12' tall
- Ornamental Shrub
- Black Hills Spruce- 6' tall

Mau & Associates
LAND SURVEYING & PLANNING
CIVIL & WATER RESOURCE ENGINEERING
400 Security Boulevard • Green Bay, Wisconsin 54313
Phone: 920-434-9670 Fax: 920-434-9672

UTILITY STATEMENT
The underground utilities shown have been located from field survey information and existing utility drawings. The surveyor is not responsible for the accuracy of the information shown in the event location indicated although he does verify that they are located as accurately as possible from the information provided. It is the responsibility of the client to verify the location of all underground utilities. Except where shown herein, there are no visible signs of utilities. No warranty is made for the accuracy of the information shown on this plan. (DIGITIZER HOTLINE: 1-800-252-8311)

DISCLAIMER
All rights in this document are reserved by Mau & Associates. The client shall be responsible for any and all errors or omissions in the information shown on this plan. Mau & Associates does not warrant the accuracy of the information shown on this plan. (DIGITIZER HOTLINE: 1-800-252-8311)

Landscape Plan
Landmark Real Estate and Development

SCALE: 1" = 40'
DATE: 11/14/01
DRAWN BY: BDO
FILE: L-15708/Layout/050712.dwg

PROJECT NO. L-15708
SHEET NO. 2 of 4
DRAWING NO. S-2094

~Five Pointes Condominiums~

Part of the Northwest 1/4 of the Northeast 1/4 of Section 12, T24N-R19E,
Village of Howard, Brown County, Wisconsin



Street View

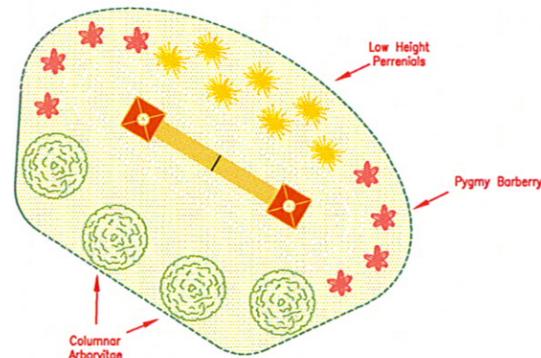


(Garage doors w/windows to be constructed on walls adjacent to the courtyards)

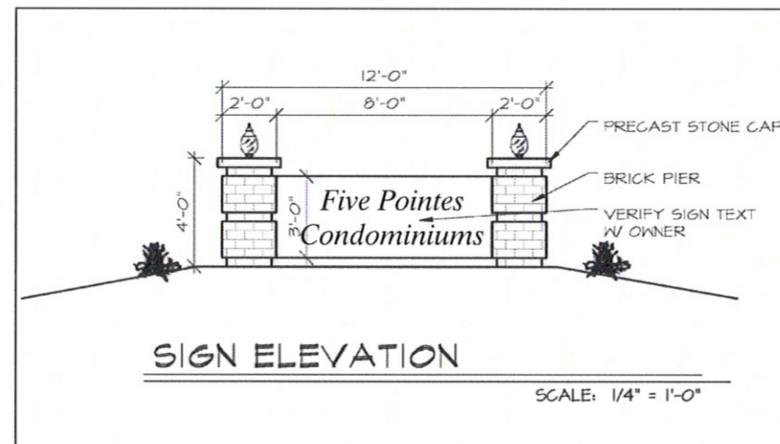


Side View

Sign Details



Sign Landscaping



Sign Dimensions



Sign from previous project

UTILITY STATEMENT
This underground utility shown here has been located from field survey information and existing utility drawings. The accuracy of the utility location is not guaranteed. It is the responsibility of the client to verify the location of all utilities before any excavation or construction. Mau & Associates is not responsible for any damage to or interference with any underground utilities. Except where shown, there are no visible easements, encroachments or other interests in the premises or right-of-way. (DISCLAIMER HOTLINE: 1-800-252-8511)

RELEASE OF THIS DOCUMENT
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Sign Detail
Landmark Real Estate and Development

SCALE: 1" = 40'
TAX PARCEL NO. 17441
DRAWN BY: RCU
File: L-15708Landscape 050712.dwg

PROJECT NO. L-15708
SHEET NO. 3 of 4
DRAWING NO. S-2094



Five Pointes Condominiums

Part of the Northwest 1/4 of the Northeast 1/4 of Section 12, T24N-R19E,
Village of Howard, Brown County, Wisconsin

Mau & Associates
 LAND SURVEYING & PLANNING
 CIVIL & WATER RESOURCE ENGINEERING
 400 Security Boulevard • Green Bay, Wisconsin 54313
 Phone: 920-434-9670 Fax: 920-434-9672

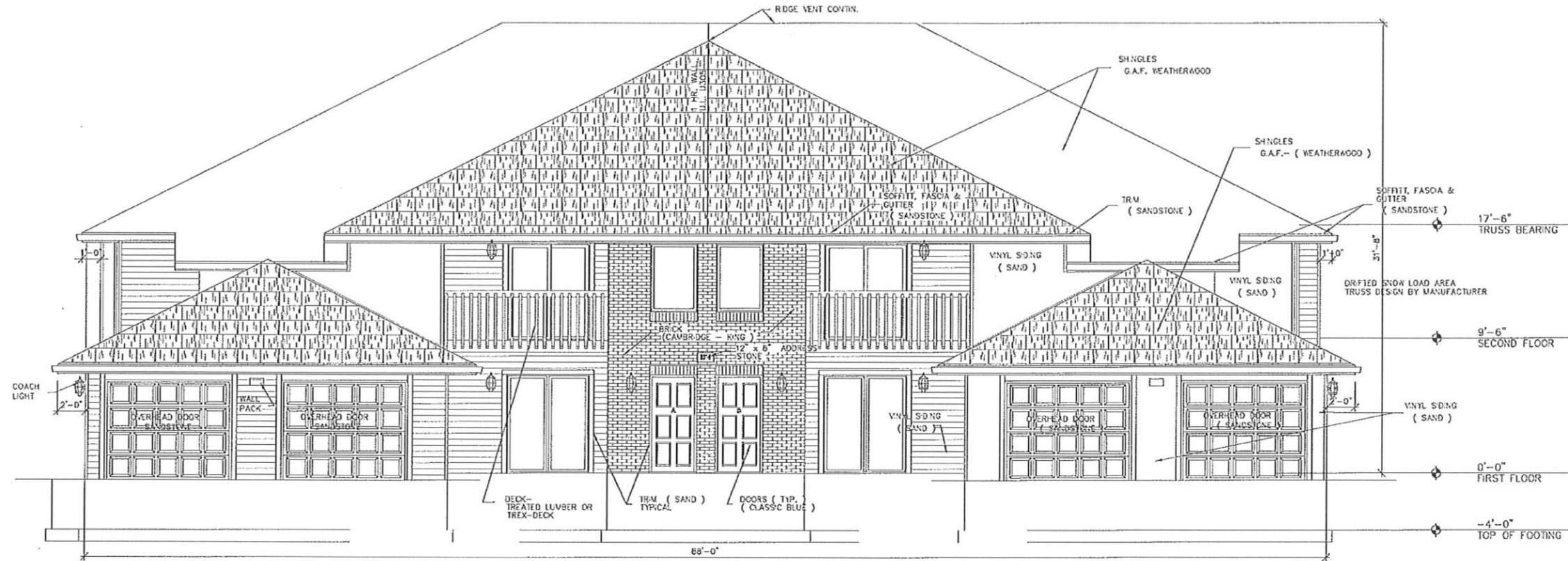
UTILITY STATEMENT
 The underground utilities shown have been located from field survey information and existing utility drawings. The surveyor is not responsible for the accuracy of the utility information shown in the exact location indicated although he/she verifies that they are located as accurately as possible from the information available. Except where shown herein, there are no visible underground utilities. Barring or voiding the premises or right-of-way easements, boundaries or building the premises or right-of-way right-of-way of which, the surveyor has been advised.
 (DISCOURTES HOTLINE: 1-800-252-8511)

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Sign Detail
 Landmark Real Estate and Development

SCALE: 1" = 40'
 FILE PARCEL NO. 1944
 DRAWING BY: RGO
 File: L-15708/Layout 050712.dwg

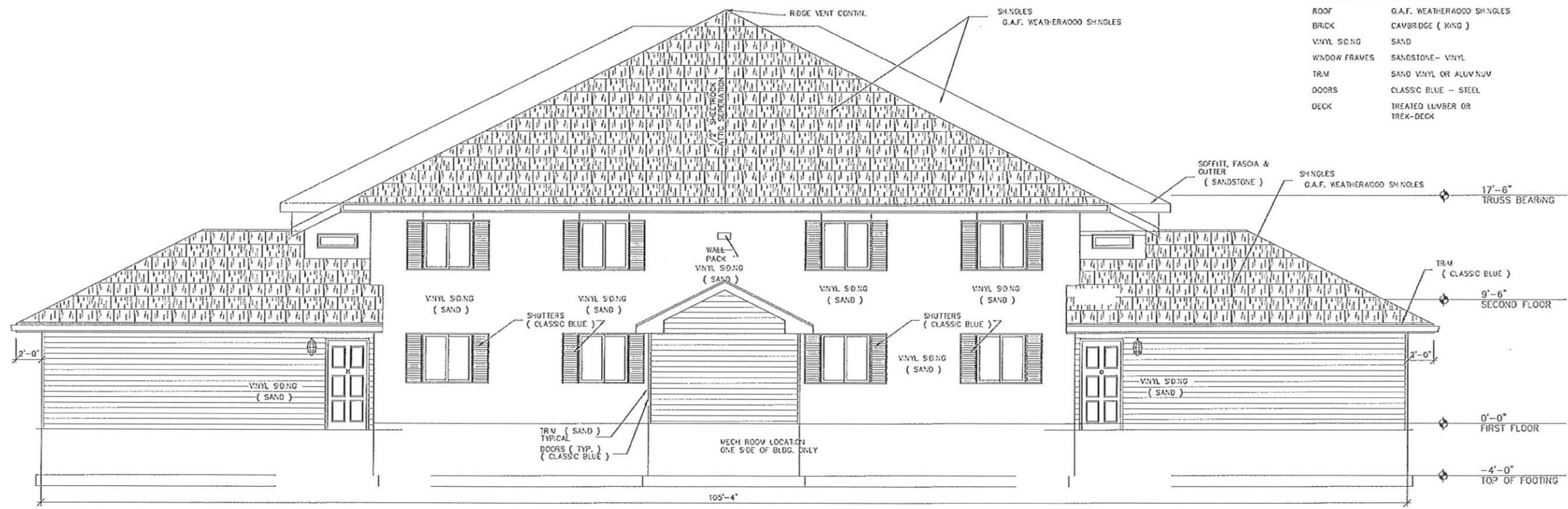
PROJECT NO. L-15708
 SHEET NO. 4 of 4
 DRAWING NO. S-2094



FRONT & REAR ELEVATIONS
SCALE: 1/4" = 1'-0"

BUILDING MATERIALS

ROOF	G.A.F. WEATHERWOOD SHINGLES
BRICK	CAVBRIDGE (KING)
VINYL S.D.N.G	SAND
WINDOW FRAMES	SANDSTONE - VINYL
TRM	SAND VINYL OR ALUMINUM
DOORS	CLASSIC BLUE - STEEL
DECK	TREATED LUMBER OR TREX-DECK



SIDE ELEVATIONS
SCALE: 1/4" = 1'-0"

NOTE:
ALTHOUGH EVERY EFFORT HAS BEEN MADE IN PREPARING THESE PLANS AND CHECKING THEM FOR ACCURACY, THE CONTRACTOR MUST CHECK ALL DETAILS & DIMENSIONS AND BE RESPONSIBLE FOR THE SAME

NORTHBROOK CROSSING
LANDMARK CUSTOM HOMES, LLC
APPLETON, WI

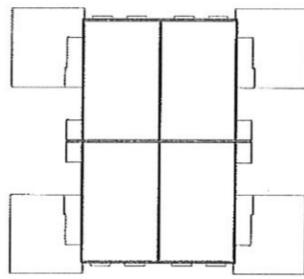
BAY ARCHITECTS, L L C

3019 HOLMGREN WAY
GREEN BAY, WI 54304

PHONE: 920-337-9400
FAX: 920-337-9416

05-18-05
DATE 05-12-05
FILE 03
JOB NO. -

7



WALL DIAPHRAGM KEY

REQUIRED 1st FLOOR WALLS ONLY

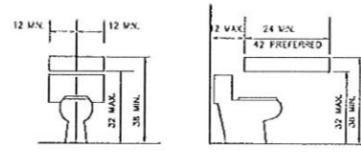
DIAPHRAGM WALLS (ONLY)

1st FLOOR WALLS SHALL BE CONSTRUCTED AS FOLLOWS:

2x4 - #2 DOUGLAS-FIR-LARCH (S.P.F. M.S.R. GRADE) STUDS @ 16" o/c

WALLS TO BE SHEATHED AS FOLLOWS:

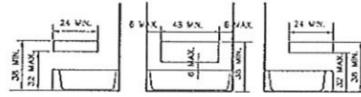
INTERIOR FACE
5/8" x 4' GYPSUM BOARD
WALLS SHALL BE BLOCKED AT 4' o/c
FASTENERS SHALL BE 6d GALV., 1 3/4" LONG,
M.N. 3/8" HEAD,
FASTENER SPACING SHALL BE NO MORE THAN 4' o/c EDGE
& 7' o/c FIELD
EXTERIOR FACE
3/4" INSUL. SHEATHING
WIND BRACING-
KANT SAG KST-29 WIND BRACING
AS SHOWN ON THE ELEVATIONS



REINFORCED AREAS FOR INSTALLATION OF GRAB BARS

LOCATION OF GRAB BAR REINFORCEMENT FOR WATER CLOSETS

LOCATION OF GRAB BAR REINFORCEMENT FOR ADAPTABLE BATHTUBS



NOTE: THE AREAS OUTLINED IN DASHED LINES REPRESENT LOCATIONS FOR FUTURE INSTALLATION OF GRAB BARS FOR TYPICAL FUTURE CONFIGURATIONS.

NOTE:
ALL HEATING EQUIPMENT SHALL BE SEALED COMBUSTION DIRECT VENT. WATER HEATER SHALL BE ELECTRIC. TOILET ROOM FINISHES (ALL) SHALL BE IMPERVIOUS TO WATER.

HEADER NOTE:
ALL HEADERS TO BE 2 - 2X10 UNLESS OTHERWISE NOTED

A/C UNIT ABOVE WALL: 0.45 CONTROL REQUIRED @ 42" MAX HEIGHT
HANDICAP ACCESSIBILITY NOTE:
ALL FIRST FLOOR UNITS TO BE ACCESSIBLE PER FEDERAL FAIR HOUSING ACT.

M.N. DOOR SIZE IN EACH INDIVIDUAL UNIT 2'-10" WIDE

M.N. DOOR SIZE IN COMMON AREAS 3'-0" WIDE

MAX. HEIGHT 48"-FOR ALL SWITCHES &/OR CONTROLS OUTLETS NO LOWER THAN 15" FROM FLOOR

PROVIDE BLOCKING AT ALL LOCATIONS REQUIRED FOR FUTURE GRAB BARS

FIRE ALARM HORN SHALL BE IN COMBINATION W/ THE INTER-COM SYSTEM PER IHR 66.50(1)(c)

SYMBOLS

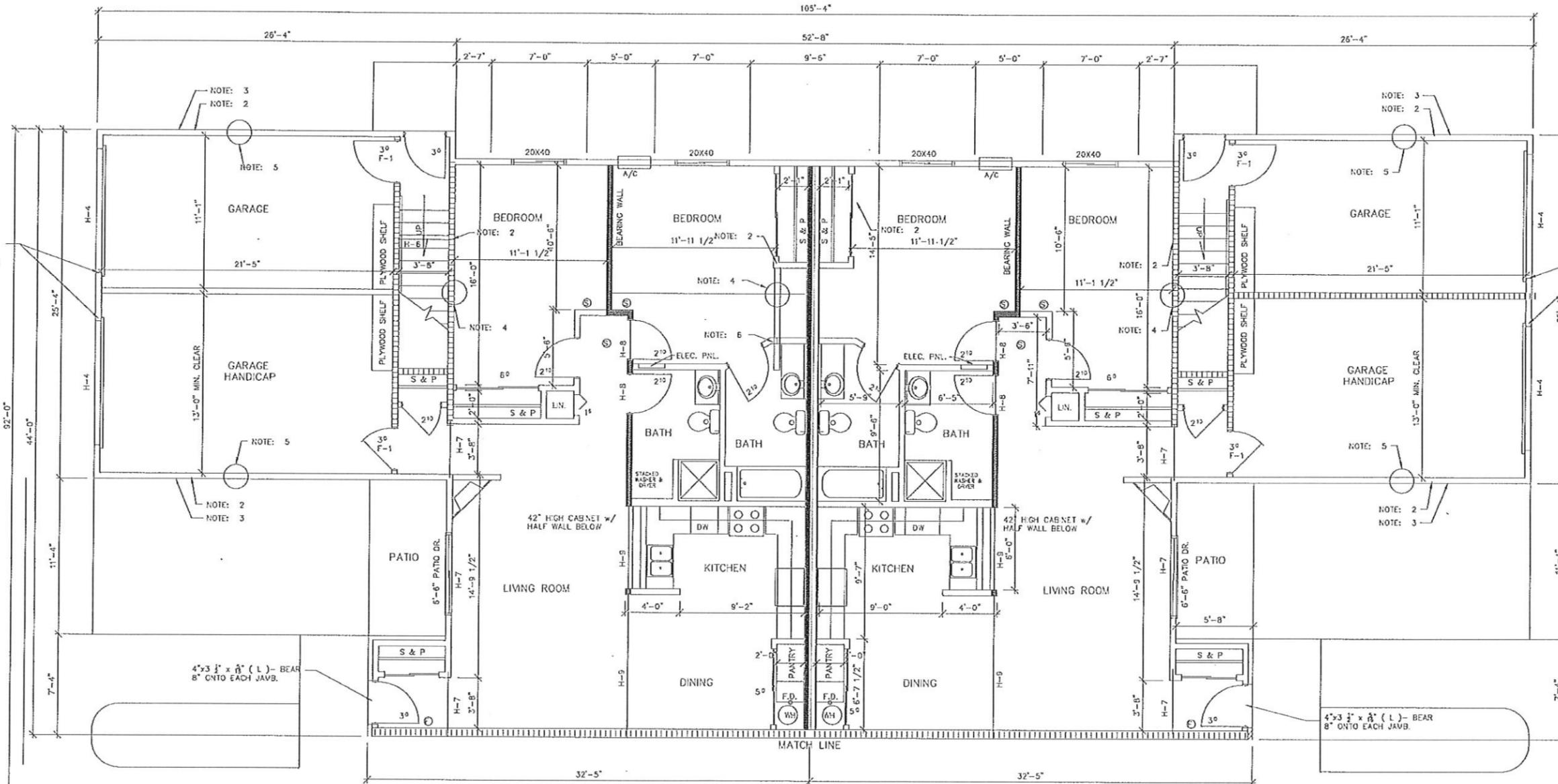
- ⬠ EXIT LIGHT
- ⊙ SMOKE DETECTOR
- ⊙ MANUAL FIRE ALARM
- F-1 20 M.N. FIRE DOOR & FR. w/ CLOSER
- F-2 1 HR. FIRE DOOR & FR. w/ CLOSER

MATERIALS

- FACE BRICK
- 2X4 STUDS 16" o/c w/ 1/2" DRYWALL
- 1 HR RATED WALL- 5/8" FIRECODE SHEETROCK EA. SIDE w/ 2X4 STUDS U.L. DES U305- UNLESS NOTED
- 2x4 STUDS @ 16" o/c BEARING WALLS

NOTE : 1
SMPSON PHD2-S053
FASTENED TO KING STUD

NOTE : 1
SMPSON PHD2-S053
FASTENED TO KING STUD



- PLAN NOTES :**
1. 1" GAB FASTENED TO ALL FRAMING w/ 5d NAILS @ 4" o/c. PROVIDE 2 x 4 BLOCKING BETWEEN STUDS AT ALL HORIZ. JOINTS IN GAB.
 2. PROVIDE 2 x 4 STUD BELOW EACH TRUSS.
 3. STUDS SHALL BE MSR 1650I - 1.6E.
 4. PROVIDE (4) 2 x 4 STUDS BELOW ROOF ORDER TRUSS.
 5. PROVIDE (2) 2 x 4 STUDS BELOW ROOF ORDER TRUSS.
 6. DESIGN FLOOR TRUSSES TO SUPPORT BEARING WALL ABOVE SECOND FLOOR.

**FIRST FLOOR PLAN (PART "B")
SECOND FLOOR FRAMING**

SCALE: 1/4" = 1'-0"

NOTE:
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