



**Meeting Date:** 2/18/13  
**Agenda Item:** #12

**Mission Statement**  
Delivering quality services in a courteous,  
cost-effective and efficient manner.

## VILLAGE PLAN COMMISSION STAFF REPORT

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**REPORT TO:** President Burt McIntyre and Village Plan Commission

**REPORT FROM:** Dave Wiese, Director of Community Development

**AGENDA ITEM:** Review and take action on the landscape plan for Hattiesburg Paper, 2641 North Packerland Drive

**ACTION REQUESTED:** Approve the site plan for Hattiesburg Paper

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### **POLICY ISSUE**

Is the site plan consistent with the trend of development in the neighborhood and with the desires of the Village for development along the Dousman Street corridor?

### **RECOMMENDED ACTION BY PLAN COMMISSION**

THE APPLICANT RECEIVED SITE PLAN APPROVAL (WITH CONDITIONS) LAST MONTH BUT WAS ASKED TO BRING A LANDSCAPE PLAN BACK TO THE PLAN COMMISSION FOR APPROVAL. THE NEW LANDSCAPE PLAN IS ATTACHED. THE APPLICANT WORKED WITH THE VILLAGE FORESTOR ON THE PLAN.

Approve the applicant's plan with any conditions as may be necessary to improve aesthetics, preserve the integrity of the neighborhood, and address concerns voiced by staff and Commission members.

### **POLICY ALTERNATIVE(S)**

The Plan Commission could take the following action:

- Approve the request without conditions.
- Approve the request with conditions.
- Deny the request
- Table the request until a later meeting date

### **BACKGROUND INFORMATION**

This property, owned by Gary DeCaster, has had a history of rezonings and rezoning requests dating back to the 1990s. The parent parcel, previously referred to as the "railroad property," had been zoned General Industrial (I-1) for many years as were most properties east of Packerland Drive and south of Ulmer Road. In recent years there have been a number of lot splits and requests for rezoning to B-1 and B-2, with the expectation of business and commercial uses developing along the Packerland Drive frontage and industrial uses developing to the rear. Construction of the large Hattiesburg Paper building was approved in 1998 on the I-1 portion. In August 2012, the Village rezoned the remaining frontage I-1 General Industrial. The owner is now proposing to construct a 192,180-square-foot expansion to the Hattiesburg Paper Building. This will result in a total overall building area just over 600,000 square feet or nearly 14 acres under roof. The construction cost for the proposed addition is estimated to be around \$7.1 million.

## **BASIC INFORMATION**

<b>Project Name:</b>	GDC Packerland LLC Rezoning
<b>Applicant Name:</b>	GDC Packerland LLC/Gary DeCaster
<b>Consultant:</b>	Mach IV Engineering
<b>Overall Parcel Size:</b>	427,536 square feet
<b>Requested Zoning:</b>	General Industrial (I-1)
<b>Comp Plan Designation:</b>	Industrial

## **ADJACENT ZONING & LAND USES**

<b>North</b>	B-2 & R-1	Local Businesses & Single Family Residential
<b>South</b>	B-2	Local Businesses, Warehousing, & Industrial City of GB
<b>East</b>	I-1	Heavy Industrial
<b>West</b>	B-2, R-1, R-4	Local Businesses & Residential

## **EXECUTIVE ANALYSIS**

1. **Zoning:** The proposed zoning is consistent with adjacent zoning to the east and south and with the comprehensive plan. The proposed zoning is compatible with the proposed future use.
2. **Setbacks-** The proposed site plan meets the building setback requirements.
3. **Parking:**
4. **Floodplain, Shoreland Zoning & Stormwater Management:** There are no mapped floodplain or wetland areas on the property.
5. **Land Division:** A CSM will need to be done combining the parcels.
6. **Lighting:** The applicant has indicated they are going to use wallpacks. The wallpacks must be shielded from public view.
7. **Fire Protection:** This property is served by municipal water and sewer and is located approximately 2.4 miles from the nearest fire station.
8. **Lot and Width Area:** The property meets the minimum width and area limitations for the I-1 zone,
9. **Driveway Locations:** A driveway permit will need to be obtained from the Village of Howard and Brown County Highway Department.
10. **Signage:** The applicant is proposing to relocate the existing sign.

## **STAFF RECOMMENDED CONDITIONS**

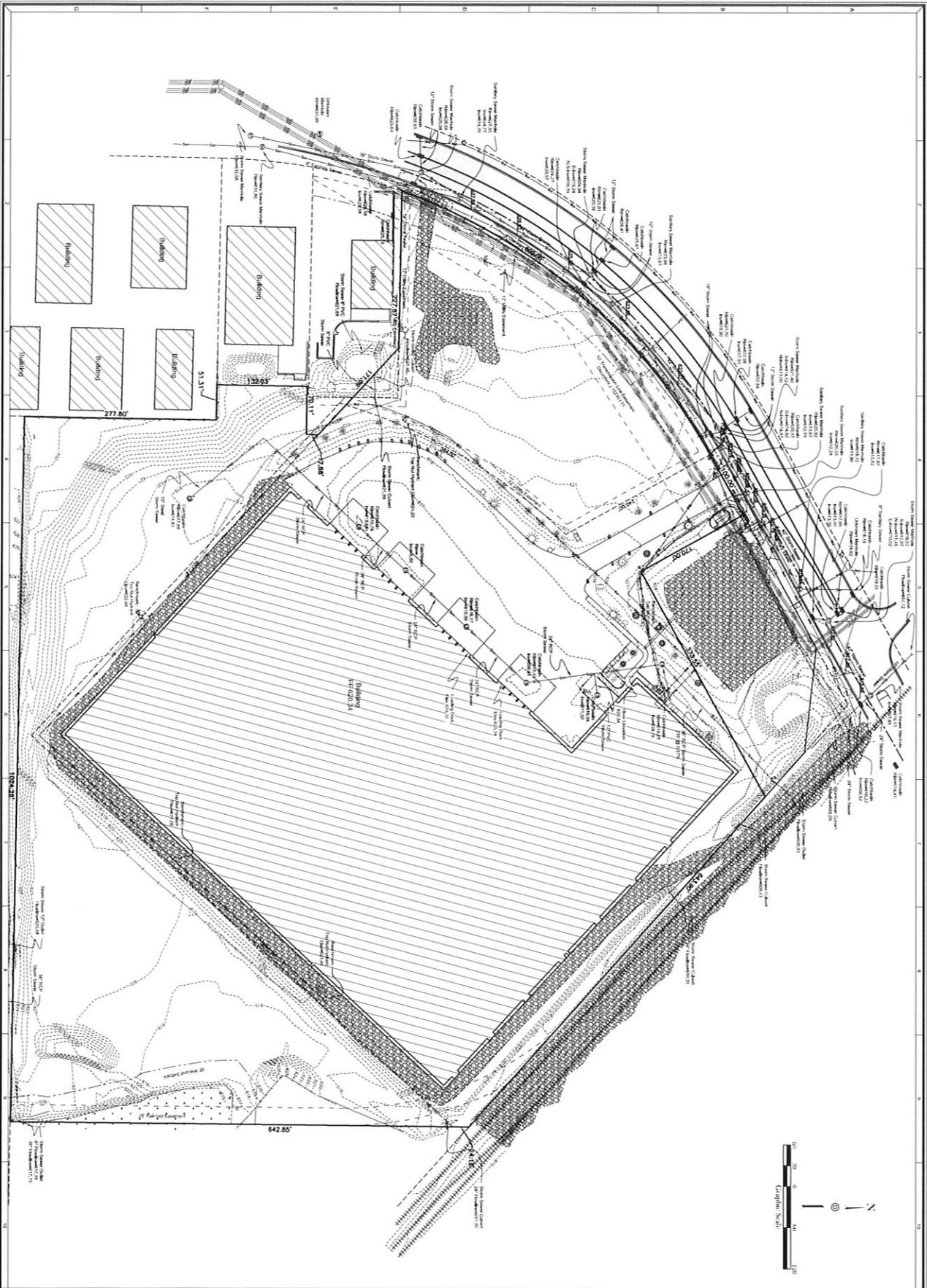
*No building or any improvement shall be erected, placed, or altered on any building site in the I-1 zoning district until the plans for such building or improvement, including the site plan, landscape plan, building plan and specifications, have been submitted for review to the village plan commission. The village plan commission shall approve, conditionally approve or disapprove such plans with respect to conformity with this section and other applicable codes and ordinances of the village and with respect to harmony of external design and land use as it affects property within and adjacent to the Business (I-1) zoning district. Failure on the part of the village plan commission to act within 60 days of submission shall constitute approval of such plans.*

1. A parking plan must be submitted documenting the number of employees.
2. Curb and Gutter should be installed in the driveway sections and a driveway permit obtained from Brown County and Village of Howard Public Works Department.
3. The relocated sign must have a 15-foot setback to Packerland Drive.
4. A stormwater management plan approved by the Village of Howard Engineering Department.
5. Sidewalk installed along Packerland Drive.
6. A CSM completed combining the properties into one parcel.

## **ATTACHMENTS**

- I New site plan and landscape plan
- II Village Forester landscaping comments from January Meeting



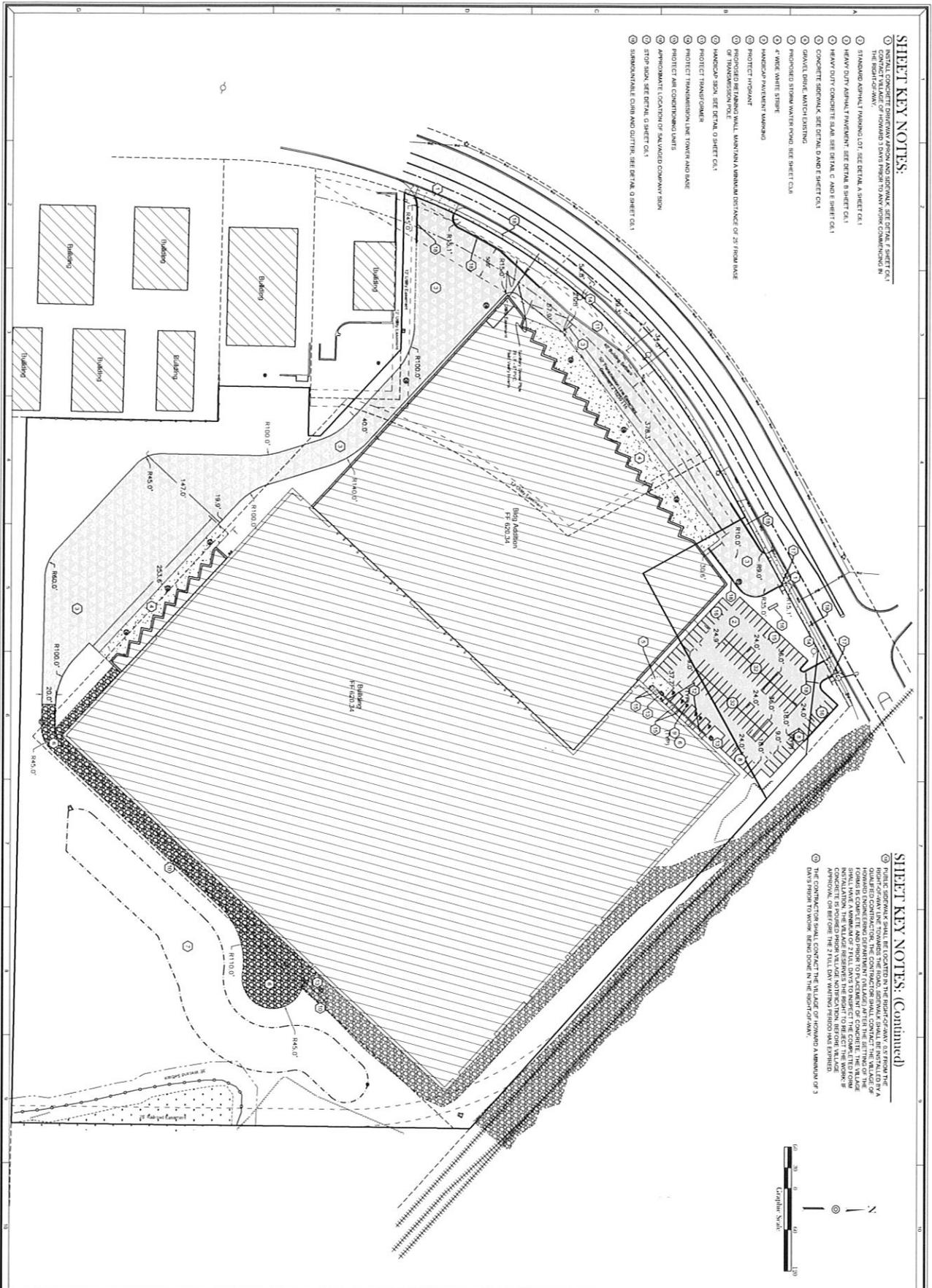


DATE: January 8, 2013	PROJECT NO.: 0512-01-12
DRAWING NO.: 731	SHEET NUMBER: C1.1
REVISION DESCRIPTION NO.	

GDC Properties, LLC  
**Hattisburg Paper Packerland Expansion**  
 Existing Conditions Plan

**Mach IV**  
 Engineering & Surveying LLC  
 211 N. Broadway, Suite 114, Green Bay, WI 54303  
 PH 920-559-3765 Fax 920-559-3767



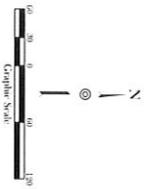


**SHEET KEY NOTES:**

- 1) CONCRETE DRIVEWAY PROPOSED BETWEEN CONCRETE DRIVEWAY SEE DETAIL A SHEET C-1
- 2) CONCRETE DRIVEWAY PROPOSED BETWEEN CONCRETE DRIVEWAY SEE DETAIL B SHEET C-1
- 3) STANDARD ASPHALT PAVING LOT SEE DETAIL A SHEET C-1
- 4) HEAVY DUTY ASPHALT PAVING SEE DETAIL B SHEET C-1
- 5) HEAVY DUTY ASPHALT PAVING SEE DETAIL C AND E SHEET C-1
- 6) CONCRETE DRIVEWAY SEE DETAIL D AND SHEET C-1
- 7) GRANULE DRAIN MATCH EXISTING
- 8) PROPOSED STORM WATER POND SEE SHEET C-1
- 9) 4" WIDE WHITE STRIPE
- 10) MANHOLE PLACEMENT MARKING
- 11) PROTECT HYDRANT
- 12) PROPOSED PERIMETER WALL MAINTAIN A MINIMUM DISTANCE OF 25' FROM FACE
- 13) MANHOLE SIGN SEE DETAIL G SHEET C-1
- 14) PROTECT TRANSFORMER
- 15) PROTECT TRANSMISSION LINE TOWER AND LINE
- 16) PROTECT AIR CONDITIONING UNITS
- 17) APPROXIMATE LOCATION OF SALVAGED CONCRETE SIGN
- 18) STORM SIGN SEE DETAIL G SHEET C-1
- 19) SIGN/PAVEMENT CURB AND CUTTER SEE DETAIL G SHEET C-1

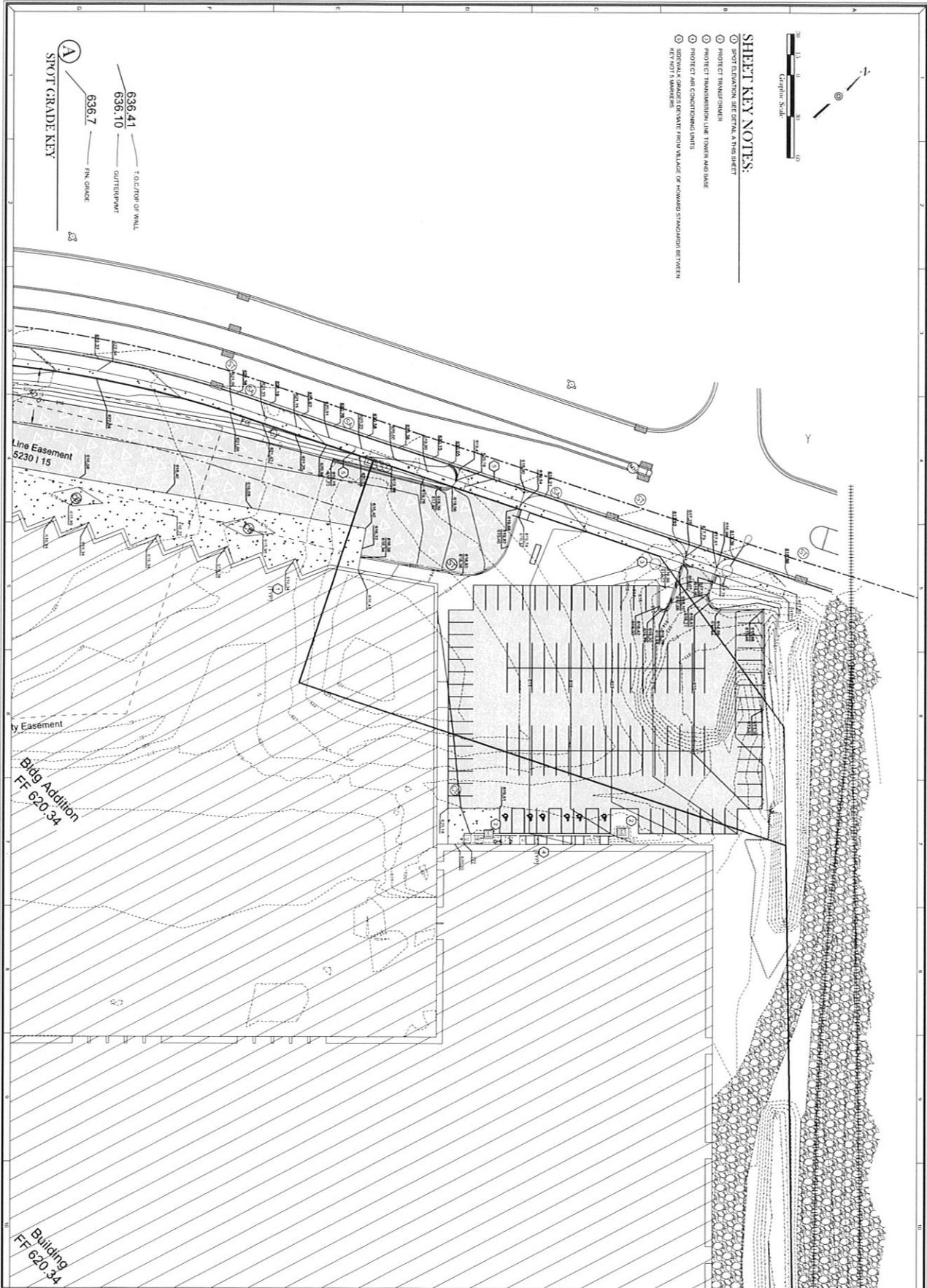
**SHEET KEY NOTES: (Continued)**

- 20) PUBLIC DRIVEWAY SHALL BE LOCATED IN THE RIGHT-OF-WAY 25' FROM THE QUALIFIED CONTRACTOR. THE CONTRACTOR SHALL CONTACT THE TOWN OF HATTISBURG TO OBTAIN THE NECESSARY PERMITS AND APPROVALS. THE TOWN OF HATTISBURG SHALL HAVE A MINIMUM OF 21 DAYS TO INSPECT THE COMPLETED DRIVEWAY CONCRETE BEFORE THE 21 DAY WAITING PERIOD HAS EXPIRED. APPROVAL OR REJECTION OF THE DRIVEWAY SHALL BE IN WRITING. THE CONTRACTOR SHALL CONTACT THE TOWN OF HATTISBURG A MINIMUM OF 3 DAYS BEFORE THE WAITING PERIOD BEGINS IN THE RIGHT-OF-WAY.



<p>DATE: January 8, 2013                  DRAWN BY: [Name]                  PROJECT NO.: 09320102                  DRAWING NUMBER: 731                  SHEET NUMBER: C2.0</p>	<p>GDC Properties, LLC  <b>Hattiesburg Paper Packerland Expansion</b>                  Proposed Site Plan</p>	<p><b>Mach IV</b>                  Engineering &amp; Surveying LLC                  211 N. Broadway, Suite 114, Green Bay, WI 54303                  PH 920-569-5765 Fax 920-569-5767</p>						
<table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th style="width: 5%;">NO.</th> <th style="width: 95%;">REVISION DESCRIPTION</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> </tr> </tbody> </table>	NO.	REVISION DESCRIPTION						
NO.	REVISION DESCRIPTION							





- SHEET KEY NOTES:**
- ① SPOT ELEVATION. SEE DETAIL A THIS SHEET
  - ② PROTECT TRUNK/PIPING
  - ③ PROTECT TRANSMISSION LINE TOWER AND MAST
  - ④ PROTECT AIR CONDITIONING UNITS
  - ⑤ SPOT GRADE. SEE DETAIL A THIS SHEET
  - ⑥ SPOT GRADE. SEE DETAIL A THIS SHEET

**636.41** ——— T.O. CENTER OF WALL  
**636.10** ——— GUTTER/PAVEMENT  
**636.7** ——— FIN GRADE

**A**  
**SPOT GRADE KEY**

DATE: January 7, 2013	NO.	REVISION DESCRIPTION
PROJECT NO.: 01340172		
DRAWING NO.: 731		
SHEET NUMBER		
<b>C3.2</b>		

GDC Properties, LLC

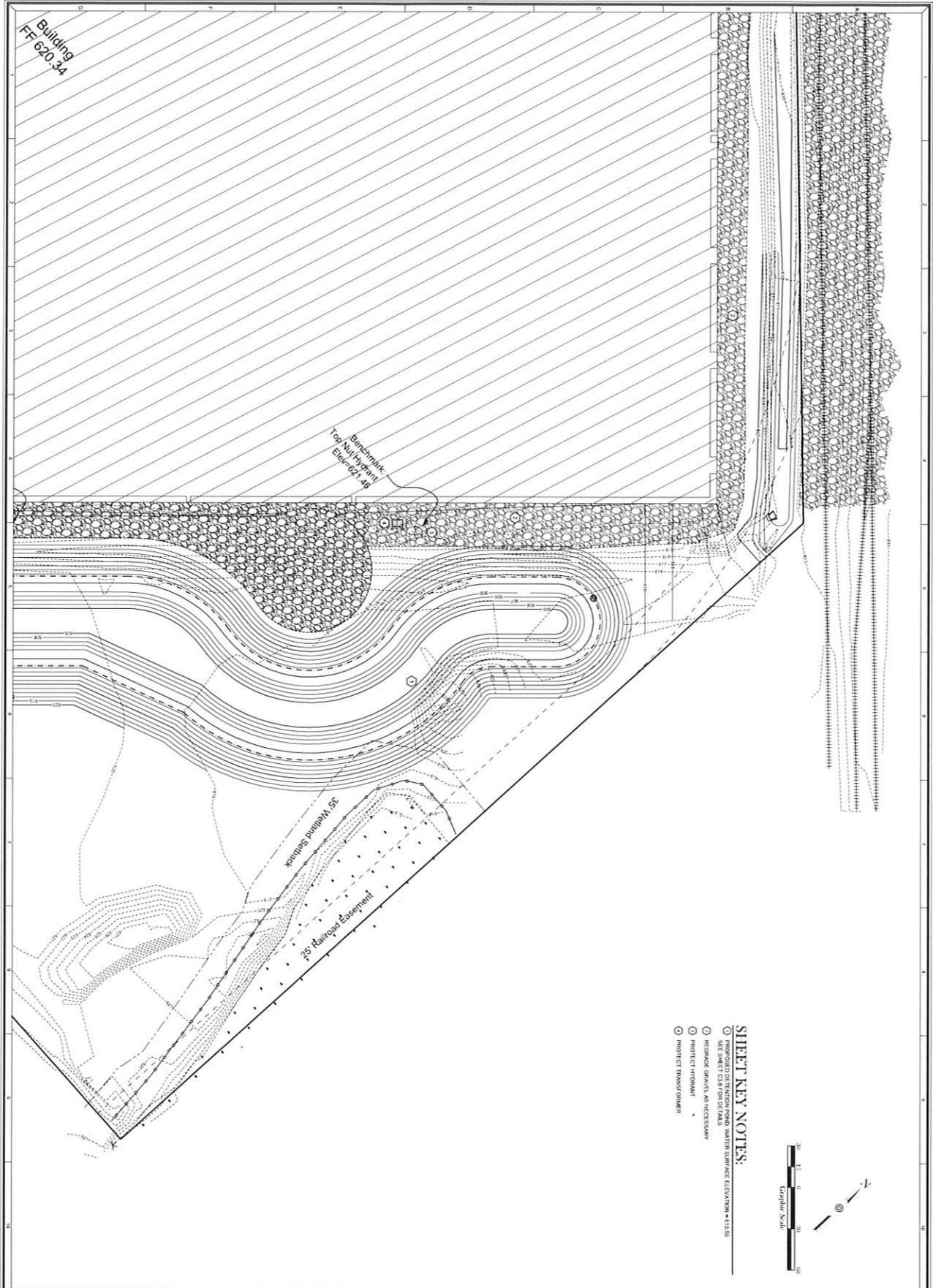
**Hattisburg Paper Packerland Expansion**

Grading Northwest

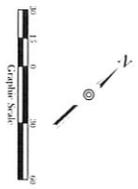
**Mach IV**

Engineering & Surveying LLC

211 N. Broadway, Suite 114, Green Bay, WI 54303  
 PH 920-559-5765 Fax: 920-559-5767



- SHEET KEY NOTES:**
- ⊙ BENCHMARK
  - ⊙ HEADLINE DIMENSION, AS INDICATED
  - ⊙ PROTECT POINT
  - ⊙ PROTECT TRANSFORMER

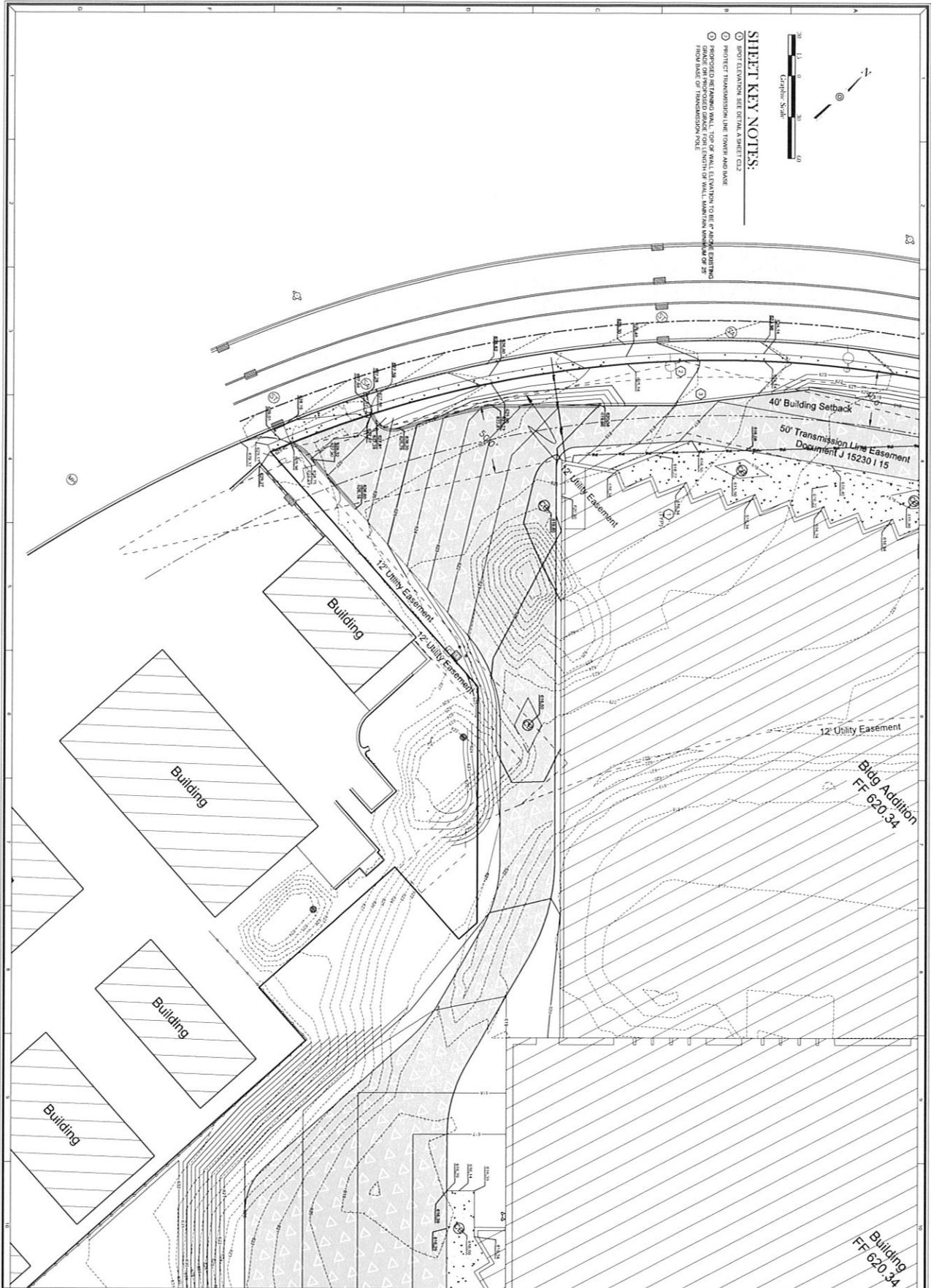


NO.	REVISION DESCRIPTION

GDC Properties, LLC  
**Hattiesburg Paper Packerland Expansion**  
 Grading Northeast

DATE: January 4, 2013  
 DRAWN BY: [Name]  
 CHECKED BY: [Name]  
 PROJECT NO.: 0512-01-12  
 DRAWING NUMBER: 731  
 SHEET NUMBER: C3.3

**Mach IV**  
 Engineering & Surveying LLC  
 211 N. Broadway, Suite 114, Green Bay, WI 54103  
 PH 920-559-5765 Fax: 920-559-5767



**SHEET KEY NOTES:**

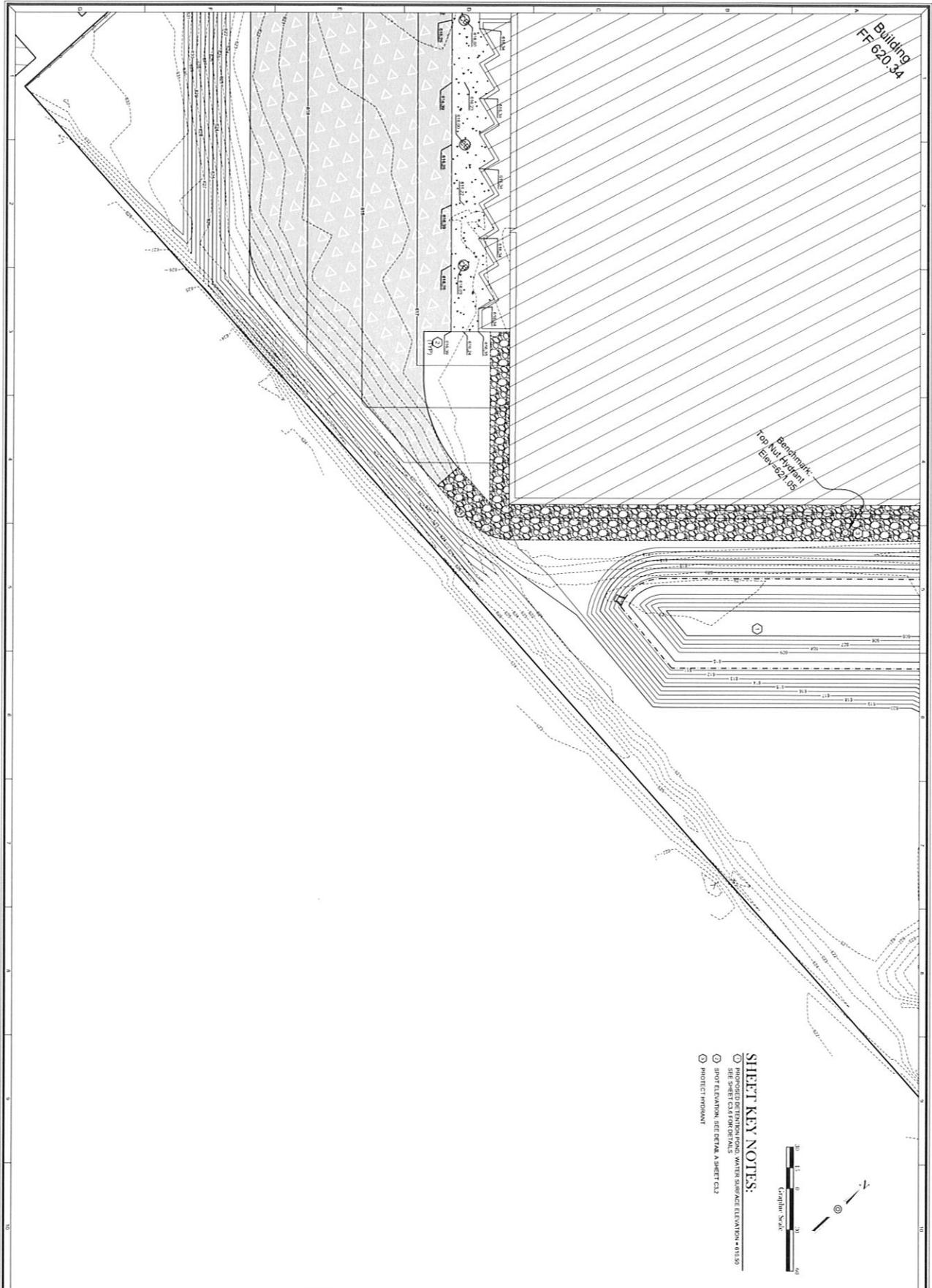
- ① POINT ELEVATION SEE DETAIL A SHEET C23
- ② PROJECT TRANSMISSION LINE TOWER AND BASE
- ③ PROPOSED 40' BUILDING SETBACK TO BE APPLIED EXISTING TRANSMISSION LINE TOWER AND BASE
- ④ PROPOSED 50' TRANSMISSION LINE TOWER AND BASE FROM BASE OF TRANSMISSION POLE



DATE: 02/12/13	NO.	REVISION DESCRIPTION
DRAWN BY: [Name]		
CHECKED BY: [Name]		
PROJECT NO.: 0512-012		
DRAWING NUMBER: 731		
SHEET NUMBER: C3.4		

GDC Properties, LLC  
**Hattisburg Paper Packerland Expansion**  
 Grading Southwest

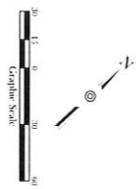
**Mach IV**  
 Engineering & Surveying LLC  
 211 N. Broadway, Suite 114, Green Bay, WI 54303  
 PH: 920-559-5755 Fax: 920-559-5757



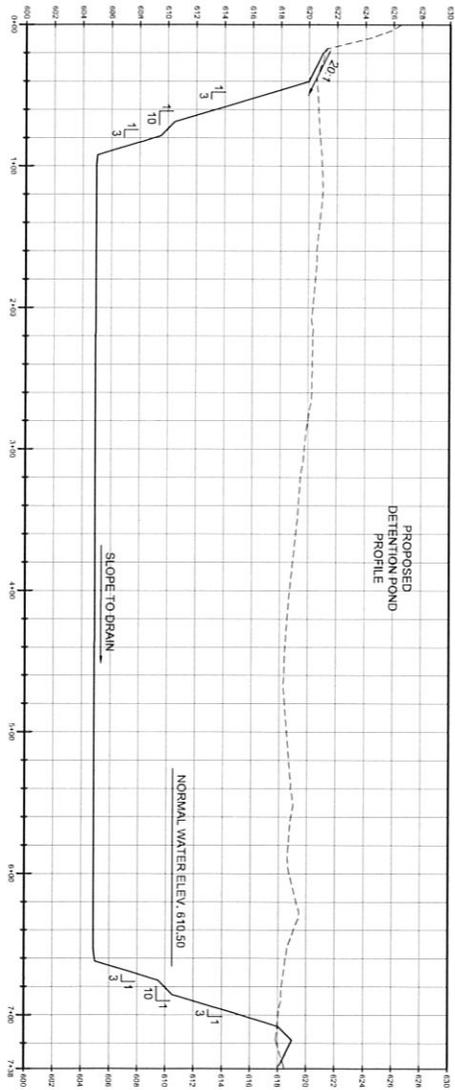
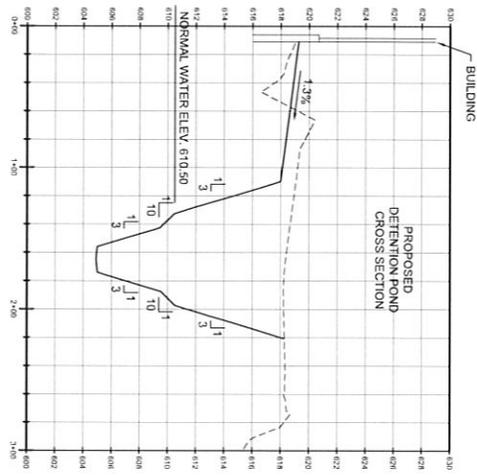
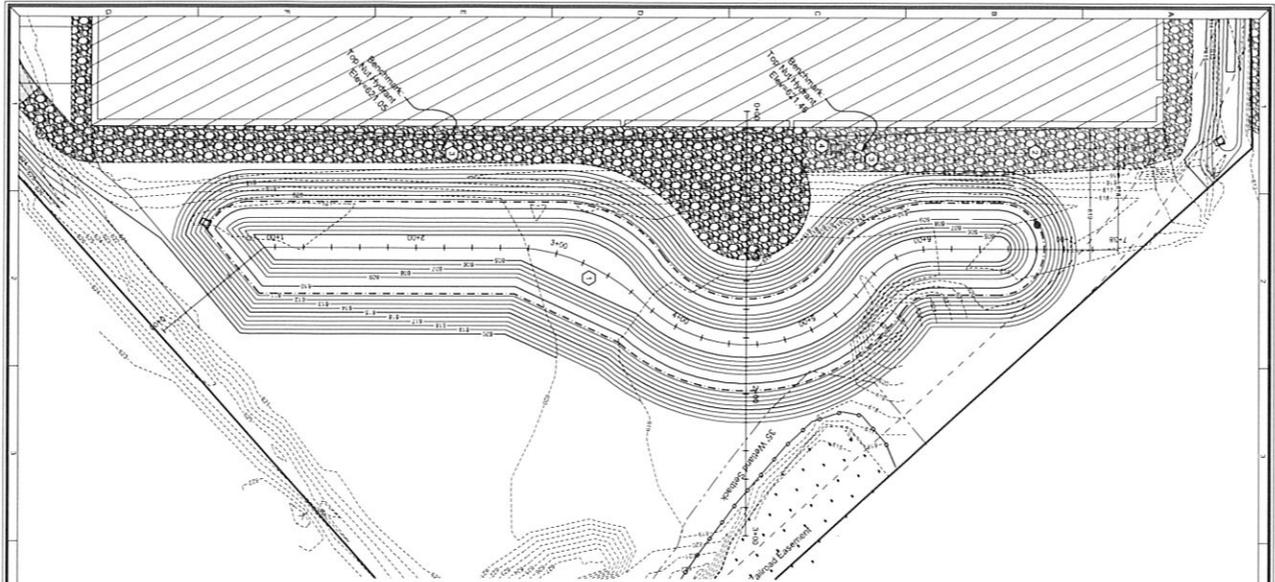
Building  
FF 620.34

Benchmark:  
Top of Hydrant  
Elev: 621.06

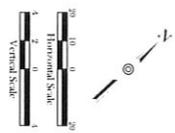
**SHEET KEY NOTES:**  
 ○ PROPOSED ELEVATION, SEE DETAIL A SHEET C32  
 ○ SPOT ELEVATION, SEE DETAIL A SHEET C32  
 ○ PROJECT INVARIANT



DATE: January 8, 2013 DRAWN BY: Steven Hume CHECKED BY: Steven Hume PROJECT NO.: 0512-01-12 DRAWING NUMBER: 731 SHEET NUMBER: C3.5 of 15	GDC Properties, LLC Hattiesburg Paper Packerland Expansion Grading Southeast	<b>Mach IV</b> Engineering & Surveying LLC 211 N. Broadway, Suite 114, Green Bay, WI 54303 PH 920-559-5785 Fax: 920-559-5787
	REVISION DESCRIPTION	



- SHEET KEY NOTES:**
- PROPOSED DETENTION POND WATER SURFACE ELEVATION = 610.50
  - SEE SHEET C4 FOR DETAILS
  - REGRADE EXISTING GRAVEL AS NECESSARY
  - PROTECT INVOGMENT
  - PROTECT TRANSFORMER



NO.	REVISION DESCRIPTION

GDC Properties, LLC  
**Hattisburg Paper Packerland Expansion**  
 Pond Cross Sections

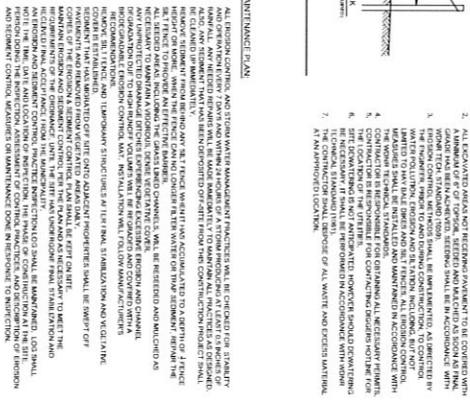
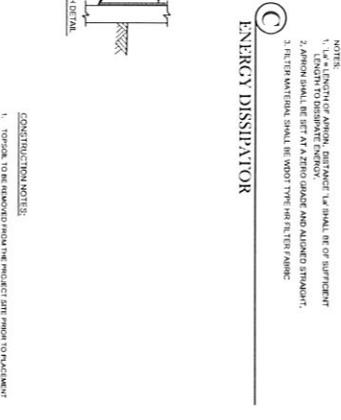
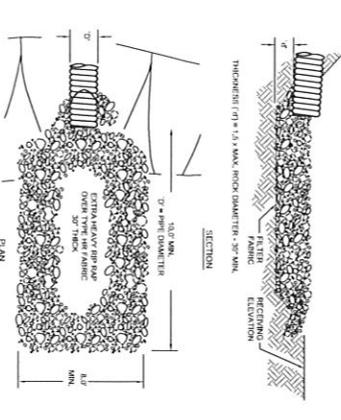
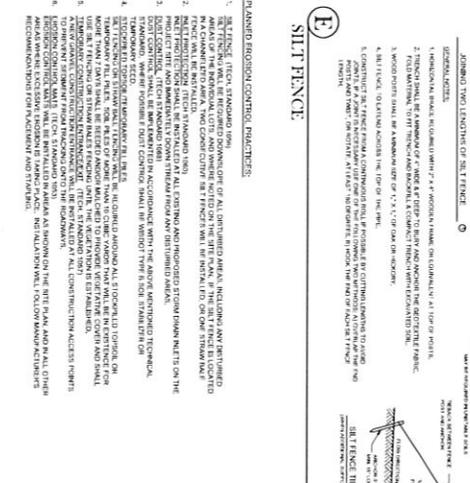
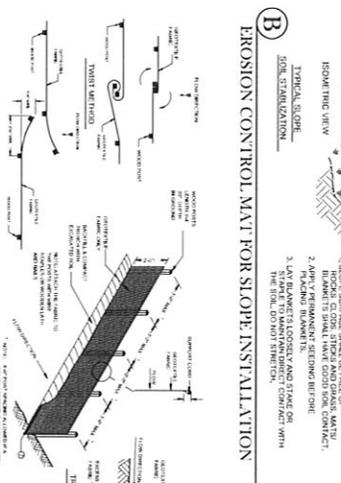
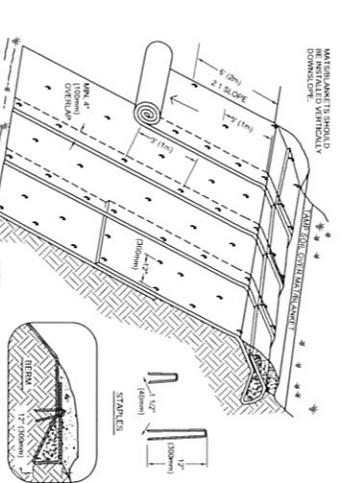
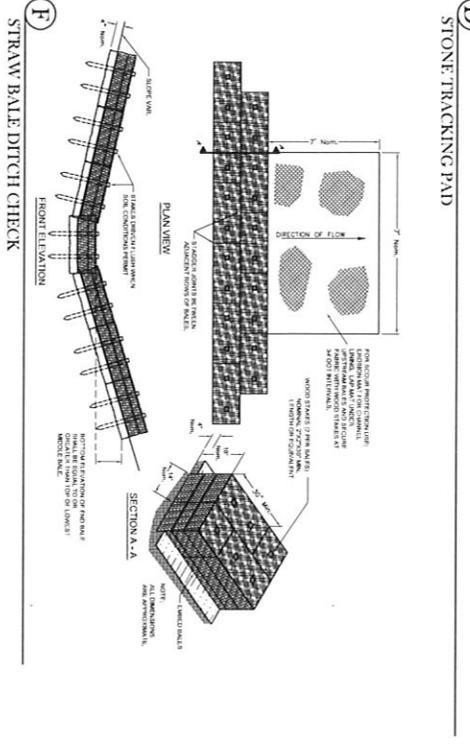
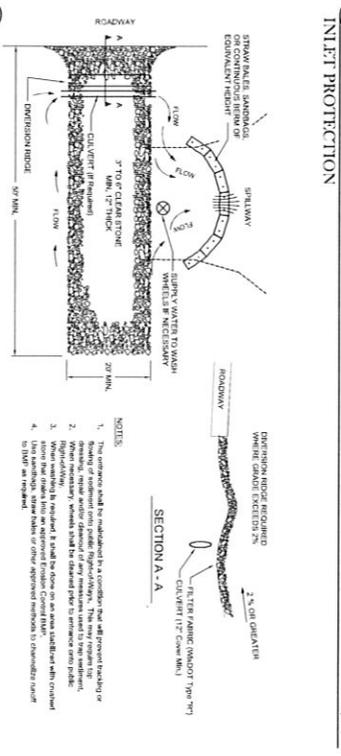
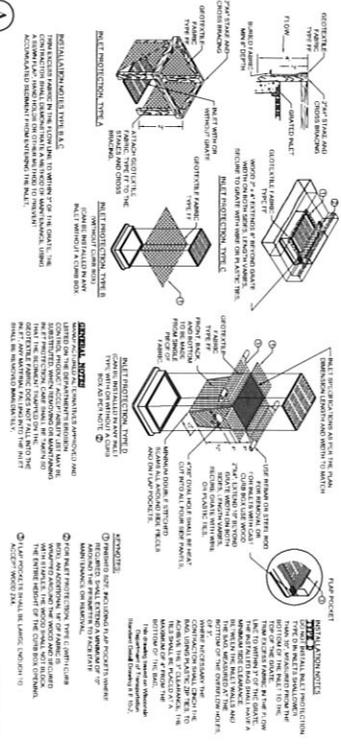
DATE: March 1, 2013  
 DESIGNED BY: J. J. Mach  
 CHECKED BY: J. J. Mach  
 PROJECT NO.: 0512-01-12

**Mach IV**  
 Engineering & Surveying LLC  
 211 N. Broadway, Suite 114, Green Bay, WI 54303  
 PH: 920-559-5755 Fax: 920-559-5757

DRAWING NUMBER: **731**  
 SHEET NUMBER: **C3.6**







DATE	REVISION DESCRIPTION
01/15/13	ISSUED FOR PERMIT
01/15/13	DESIGNED BY: [Name]
01/15/13	CHECKED BY: [Name]
01/15/13	PROJECT NO.: 0153-012
01/15/13	DRAWING NUMBER: 731
01/15/13	SHEET NUMBER: C5.2

GDC Properties, LLC  
**Hattiesburg Paper Packerland Expansion**  
 Erosion Control Details

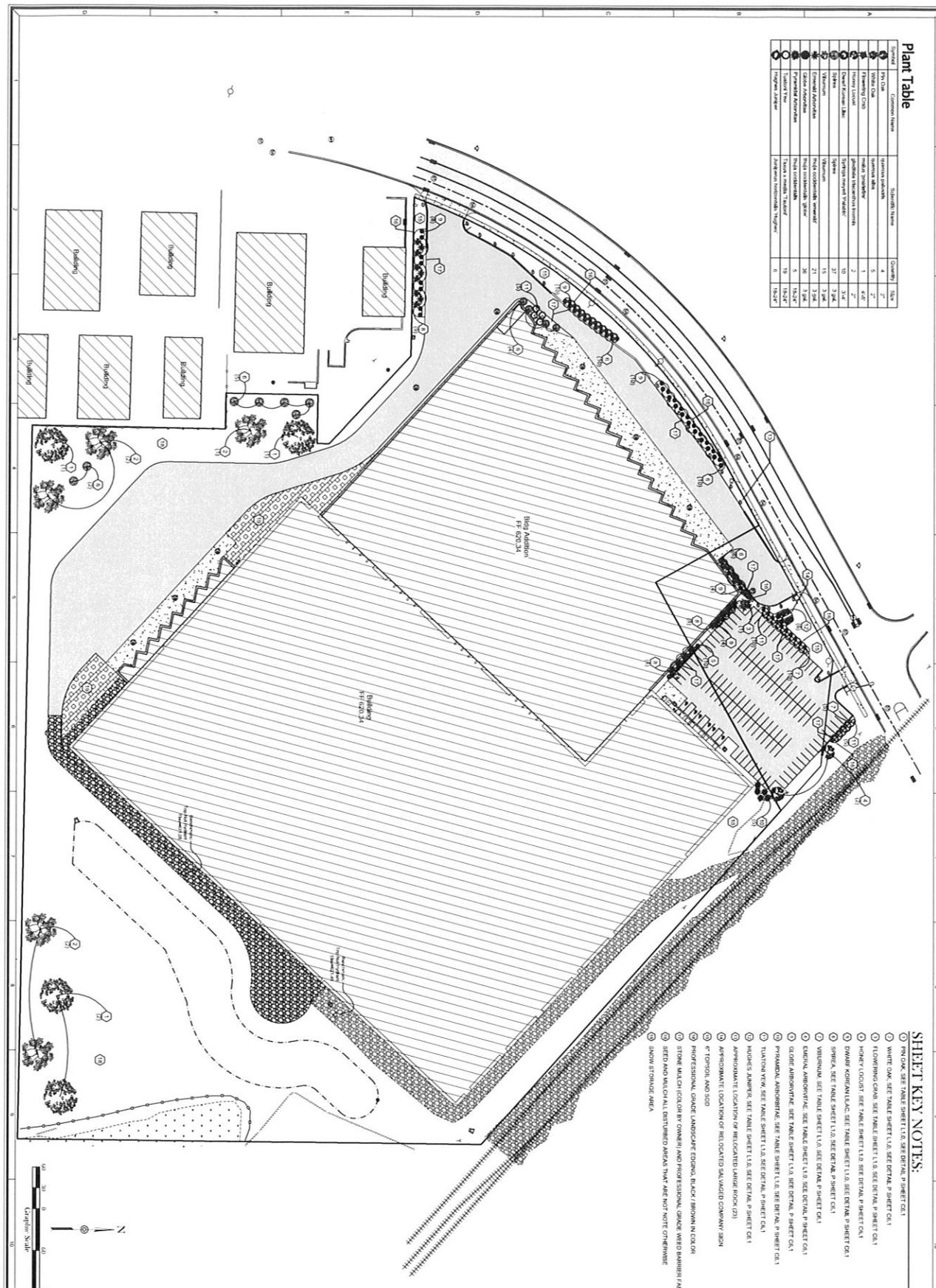
**Mach IV**  
 Engineering & Surveying LLC  
 211 N. Broadway, Suite 114, Green Bay, WI 54303  
 PH: 920-569-5765 Fax: 920-569-5767





**Plant Table**

Plant	Quantity	Plant Name	Plant Code
1	1	White Oak	W1
2	1	Red Oak	R1
3	1	Black Oak	B1
4	1	White Pine	WP1
5	1	Red Pine	RP1
6	1	Black Pine	BP1
7	1	White Birch	WB1
8	1	Red Birch	RB1
9	1	Black Birch	BB1
10	1	White Spruce	WS1
11	1	Red Spruce	RS1
12	1	Black Spruce	BS1
13	1	White Fir	WF1
14	1	Red Fir	RF1
15	1	Black Fir	BF1
16	1	White Cedar	WC1
17	1	Red Cedar	RC1
18	1	Black Cedar	BC1
19	1	White Juniper	WJ1
20	1	Red Juniper	RJ1
21	1	Black Juniper	BJ1
22	1	White Cypress	WCY1
23	1	Red Cypress	RCY1
24	1	Black Cypress	BCY1
25	1	White Palm	WPALM1
26	1	Red Palm	RPALM1
27	1	Black Palm	BPALM1
28	1	White Magnolia	WMAG1
29	1	Red Magnolia	RMAG1
30	1	Black Magnolia	BMAG1
31	1	White Dogwood	WDG1
32	1	Red Dogwood	RDG1
33	1	Black Dogwood	BDG1
34	1	White Hawthorn	WHAW1
35	1	Red Hawthorn	RHAW1
36	1	Black Hawthorn	BHAW1
37	1	White Sycamore	WSYC1
38	1	Red Sycamore	RSYC1
39	1	Black Sycamore	BSYC1
40	1	White Elm	WE1
41	1	Red Elm	RE1
42	1	Black Elm	BE1
43	1	White Hickory	WHIC1
44	1	Red Hickory	RHIC1
45	1	Black Hickory	BHIC1
46	1	White Pecan	WPEC1
47	1	Red Pecan	RPEC1
48	1	Black Pecan	BPEC1
49	1	White Walnut	WWAL1
50	1	Red Walnut	RWAL1
51	1	Black Walnut	BWAL1
52	1	White Ash	WASH1
53	1	Red Ash	RASH1
54	1	Black Ash	BASH1
55	1	White Poplar	WPOP1
56	1	Red Poplar	RPOP1
57	1	Black Poplar	BPOP1
58	1	White Willow	WWIL1
59	1	Red Willow	RWIL1
60	1	Black Willow	BWIL1
61	1	White Cottonwood	WCOT1
62	1	Red Cottonwood	RCOT1
63	1	Black Cottonwood	BCOT1
64	1	White Alder	WALD1
65	1	Red Alder	RALD1
66	1	Black Alder	BALD1
67	1	White Boxelder	WBOX1
68	1	Red Boxelder	RBOX1
69	1	Black Boxelder	BBOX1
70	1	White Hackberry	WHACK1
71	1	Red Hackberry	RHACK1
72	1	Black Hackberry	BHACK1
73	1	White Sassafras	WSASS1
74	1	Red Sassafras	RSASS1
75	1	Black Sassafras	BSASS1
76	1	White Spicebush	WSPIC1
77	1	Red Spicebush	RSPIC1
78	1	Black Spicebush	BSPIC1
79	1	White Spicebush	WSPIC1
80	1	Red Spicebush	RSPIC1
81	1	Black Spicebush	BSPIC1
82	1	White Spicebush	WSPIC1
83	1	Red Spicebush	RSPIC1
84	1	Black Spicebush	BSPIC1
85	1	White Spicebush	WSPIC1
86	1	Red Spicebush	RSPIC1
87	1	Black Spicebush	BSPIC1
88	1	White Spicebush	WSPIC1
89	1	Red Spicebush	RSPIC1
90	1	Black Spicebush	BSPIC1



**SHEET KEY NOTES:**

- 1) PIN OAK, SEE TABLE SHEET 1.0, SEE DETAIL P SHEET 001
- 2) WHITE OAK, SEE TABLE SHEET 1.0, SEE DETAIL P SHEET 001
- 3) RED OAK, SEE TABLE SHEET 1.0, SEE DETAIL P SHEET 001
- 4) BLACK OAK, SEE TABLE SHEET 1.0, SEE DETAIL P SHEET 001
- 5) WHITE PINE, SEE TABLE SHEET 1.0, SEE DETAIL P SHEET 001
- 6) RED PINE, SEE TABLE SHEET 1.0, SEE DETAIL P SHEET 001
- 7) BLACK PINE, SEE TABLE SHEET 1.0, SEE DETAIL P SHEET 001
- 8) WHITE BIRCH, SEE TABLE SHEET 1.0, SEE DETAIL P SHEET 001
- 9) RED BIRCH, SEE TABLE SHEET 1.0, SEE DETAIL P SHEET 001
- 10) BLACK BIRCH, SEE TABLE SHEET 1.0, SEE DETAIL P SHEET 001
- 11) WHITE SPRUCE, SEE TABLE SHEET 1.0, SEE DETAIL P SHEET 001
- 12) RED SPRUCE, SEE TABLE SHEET 1.0, SEE DETAIL P SHEET 001
- 13) BLACK SPRUCE, SEE TABLE SHEET 1.0, SEE DETAIL P SHEET 001
- 14) WHITE FIR, SEE TABLE SHEET 1.0, SEE DETAIL P SHEET 001
- 15) RED FIR, SEE TABLE SHEET 1.0, SEE DETAIL P SHEET 001
- 16) BLACK FIR, SEE TABLE SHEET 1.0, SEE DETAIL P SHEET 001
- 17) WHITE CEDAR, SEE TABLE SHEET 1.0, SEE DETAIL P SHEET 001
- 18) RED CEDAR, SEE TABLE SHEET 1.0, SEE DETAIL P SHEET 001
- 19) BLACK CEDAR, SEE TABLE SHEET 1.0, SEE DETAIL P SHEET 001
- 20) WHITE JUNIPER, SEE TABLE SHEET 1.0, SEE DETAIL P SHEET 001
- 21) RED JUNIPER, SEE TABLE SHEET 1.0, SEE DETAIL P SHEET 001
- 22) BLACK JUNIPER, SEE TABLE SHEET 1.0, SEE DETAIL P SHEET 001
- 23) WHITE CYPRESS, SEE TABLE SHEET 1.0, SEE DETAIL P SHEET 001
- 24) RED CYPRESS, SEE TABLE SHEET 1.0, SEE DETAIL P SHEET 001
- 25) BLACK CYPRESS, SEE TABLE SHEET 1.0, SEE DETAIL P SHEET 001
- 26) WHITE PALM, SEE TABLE SHEET 1.0, SEE DETAIL P SHEET 001
- 27) RED PALM, SEE TABLE SHEET 1.0, SEE DETAIL P SHEET 001
- 28) BLACK PALM, SEE TABLE SHEET 1.0, SEE DETAIL P SHEET 001
- 29) WHITE MAGNOLIA, SEE TABLE SHEET 1.0, SEE DETAIL P SHEET 001
- 30) RED MAGNOLIA, SEE TABLE SHEET 1.0, SEE DETAIL P SHEET 001
- 31) BLACK MAGNOLIA, SEE TABLE SHEET 1.0, SEE DETAIL P SHEET 001
- 32) WHITE DOGWOOD, SEE TABLE SHEET 1.0, SEE DETAIL P SHEET 001
- 33) RED DOGWOOD, SEE TABLE SHEET 1.0, SEE DETAIL P SHEET 001
- 34) BLACK DOGWOOD, SEE TABLE SHEET 1.0, SEE DETAIL P SHEET 001
- 35) WHITE HAWTHORN, SEE TABLE SHEET 1.0, SEE DETAIL P SHEET 001
- 36) RED HAWTHORN, SEE TABLE SHEET 1.0, SEE DETAIL P SHEET 001
- 37) BLACK HAWTHORN, SEE TABLE SHEET 1.0, SEE DETAIL P SHEET 001
- 38) WHITE SYCAMORE, SEE TABLE SHEET 1.0, SEE DETAIL P SHEET 001
- 39) RED SYCAMORE, SEE TABLE SHEET 1.0, SEE DETAIL P SHEET 001
- 40) BLACK SYCAMORE, SEE TABLE SHEET 1.0, SEE DETAIL P SHEET 001
- 41) WHITE ELM, SEE TABLE SHEET 1.0, SEE DETAIL P SHEET 001
- 42) RED ELM, SEE TABLE SHEET 1.0, SEE DETAIL P SHEET 001
- 43) BLACK ELM, SEE TABLE SHEET 1.0, SEE DETAIL P SHEET 001
- 44) WHITE HICKORY, SEE TABLE SHEET 1.0, SEE DETAIL P SHEET 001
- 45) RED HICKORY, SEE TABLE SHEET 1.0, SEE DETAIL P SHEET 001
- 46) BLACK HICKORY, SEE TABLE SHEET 1.0, SEE DETAIL P SHEET 001
- 47) WHITE PECAN, SEE TABLE SHEET 1.0, SEE DETAIL P SHEET 001
- 48) RED PECAN, SEE TABLE SHEET 1.0, SEE DETAIL P SHEET 001
- 49) BLACK PECAN, SEE TABLE SHEET 1.0, SEE DETAIL P SHEET 001
- 50) WHITE WALNUT, SEE TABLE SHEET 1.0, SEE DETAIL P SHEET 001
- 51) RED WALNUT, SEE TABLE SHEET 1.0, SEE DETAIL P SHEET 001
- 52) BLACK WALNUT, SEE TABLE SHEET 1.0, SEE DETAIL P SHEET 001
- 53) WHITE ASH, SEE TABLE SHEET 1.0, SEE DETAIL P SHEET 001
- 54) RED ASH, SEE TABLE SHEET 1.0, SEE DETAIL P SHEET 001
- 55) BLACK ASH, SEE TABLE SHEET 1.0, SEE DETAIL P SHEET 001
- 56) WHITE POPLAR, SEE TABLE SHEET 1.0, SEE DETAIL P SHEET 001
- 57) RED POPLAR, SEE TABLE SHEET 1.0, SEE DETAIL P SHEET 001
- 58) BLACK POPLAR, SEE TABLE SHEET 1.0, SEE DETAIL P SHEET 001
- 59) WHITE WILLOW, SEE TABLE SHEET 1.0, SEE DETAIL P SHEET 001
- 60) RED WILLOW, SEE TABLE SHEET 1.0, SEE DETAIL P SHEET 001
- 61) BLACK WILLOW, SEE TABLE SHEET 1.0, SEE DETAIL P SHEET 001
- 62) WHITE COTTONWOOD, SEE TABLE SHEET 1.0, SEE DETAIL P SHEET 001
- 63) RED COTTONWOOD, SEE TABLE SHEET 1.0, SEE DETAIL P SHEET 001
- 64) BLACK COTTONWOOD, SEE TABLE SHEET 1.0, SEE DETAIL P SHEET 001
- 65) WHITE ALDER, SEE TABLE SHEET 1.0, SEE DETAIL P SHEET 001
- 66) RED ALDER, SEE TABLE SHEET 1.0, SEE DETAIL P SHEET 001
- 67) BLACK ALDER, SEE TABLE SHEET 1.0, SEE DETAIL P SHEET 001
- 68) WHITE BOXELDER, SEE TABLE SHEET 1.0, SEE DETAIL P SHEET 001
- 69) RED BOXELDER, SEE TABLE SHEET 1.0, SEE DETAIL P SHEET 001
- 70) BLACK BOXELDER, SEE TABLE SHEET 1.0, SEE DETAIL P SHEET 001
- 71) WHITE HACKBERRY, SEE TABLE SHEET 1.0, SEE DETAIL P SHEET 001
- 72) RED HACKBERRY, SEE TABLE SHEET 1.0, SEE DETAIL P SHEET 001
- 73) BLACK HACKBERRY, SEE TABLE SHEET 1.0, SEE DETAIL P SHEET 001
- 74) WHITE SASSAFRAS, SEE TABLE SHEET 1.0, SEE DETAIL P SHEET 001
- 75) RED SASSAFRAS, SEE TABLE SHEET 1.0, SEE DETAIL P SHEET 001
- 76) BLACK SASSAFRAS, SEE TABLE SHEET 1.0, SEE DETAIL P SHEET 001
- 77) WHITE SPICEBUSH, SEE TABLE SHEET 1.0, SEE DETAIL P SHEET 001
- 78) RED SPICEBUSH, SEE TABLE SHEET 1.0, SEE DETAIL P SHEET 001
- 79) BLACK SPICEBUSH, SEE TABLE SHEET 1.0, SEE DETAIL P SHEET 001
- 80) WHITE SPICEBUSH, SEE TABLE SHEET 1.0, SEE DETAIL P SHEET 001
- 81) RED SPICEBUSH, SEE TABLE SHEET 1.0, SEE DETAIL P SHEET 001
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- 90) RED SPICEBUSH, SEE TABLE SHEET 1.0, SEE DETAIL P SHEET 001
- 91) BLACK SPICEBUSH, SEE TABLE SHEET 1.0, SEE DETAIL P SHEET 001

<p>DATE: March 1, 2013                  DRAWN BY: [Name]                  CHECKED BY: [Name]                  PROJECT NO.: 013-01-12                  DRAWING NUMBER: 731                  SHEET NUMBER: L1.0</p>	<p>GDC Properties, LLC  <b>Hattiesburg Paper Packerland Expansion</b>                  Landscape Plan</p>	<p><b>Mach IV</b>                  Engineering &amp; Surveying LLC                  211 N. Broadway, Suite 114, Green Bay, WI 54103                  PH: 920-569-5765 Fax: 920-569-5767</p>
<p>NO. _____</p> <p>REVISION DESCRIPTION</p>		

Reviewed By: Chris Clark  
Village of Hazelton

\*NOTE: REALIGNMENT FOR ROUND ABOUT  
INSTALLATION AT ULMER RD.

ORNAMENTAL TREES & LANDSCAPING

LANDSCAPE AROUND SIGN  
(SHOW DETAILS)

Plant	Common Name	USDA Zone	Quantity	Notes
1	Small Ornamental Tree	USDA Zone 4	100	
2	Large Ornamental Tree	USDA Zone 4	50	
3	Medium Ornamental Tree	USDA Zone 4	200	
4	Small Shrub	USDA Zone 4	500	
5	Large Shrub	USDA Zone 4	100	
6	Perennial Plant	USDA Zone 4	1000	
7	Evergreen	USDA Zone 4	500	

SHEET KEY NOTES:

- 1. SHARP ALBERTA SPRUCE SEE TABLE SHEET L1.1 SEE DETAIL P SHEET C4.1
- 2. PLANTING VIEW SEE TABLE SHEET L1.1 SEE DETAIL P SHEET C4.1
- 3. HIGHER ALBERTA SEE TABLE SHEET L1.1 SEE DETAIL P SHEET C4.1
- 4. JAPANESE SPYER SPRUCE SEE TABLE SHEET L1.1 SEE DETAIL P SHEET C4.1
- 5. PACIFIC HEDERA SEE TABLE SHEET L1.1 SEE DETAIL P SHEET C4.1
- 6. VIBURNUM SPICE SEE TABLE SHEET L1.1 SEE DETAIL P SHEET C4.1
- 7. APPROPRIATE LOCATION OF PROPOSED SALVAGED COMPANY SIGN
- 8. IF TOPSOIL AND SOIL
- 9. PROFESSIONAL GRADE LANDSCAPE EXPOSED BLACK BROWN PAVED OR
- 10. STONE MULCH COLOR BY OWNER AND PROFESSIONAL GRADE WEED BARRIER FABRIC
- 11. SEED AND MULCH ON ALL DISTURBED AREAS THAT ARE NOT NOTE OTHERWISE

INSTALL ORNAMENTAL  
TREES & LANDSCAPING.  
COULD INCLUDE  
STREET TREES  
IN ROW

PLANT LARGE MATURING  
SHADE TREES &  
EVERGREENS

USE A MORE VARIETY OF  
SHRUBS AND PERENNIAL PLANTS  
ALSO CAN BE PLANTED  
MORE DENSELY

MORE SCREENING  
OF NEIGHBORING  
BUSINESSES

PLANT LARGE MATURING SHADE TREES & EVERGREENS

**Mach IV**  
Engineering & Surveying LLC  
2175 10th Street, Hazelton, BC V2A 2G2

GDC Properties, LLC  
Hattiesburg Paper Packerland  
Expansion  
Landscape Plan

DATE: January 4, 2012	DRAWN BY: [Name]
CHECKED BY: [Name]	PROJECT NO.: 012044-12
DRAWING NUMBER: 731	SHEET NUMBER: 1.10